

4 EASY STEP BUILDING PROCESS

1-IDEAS

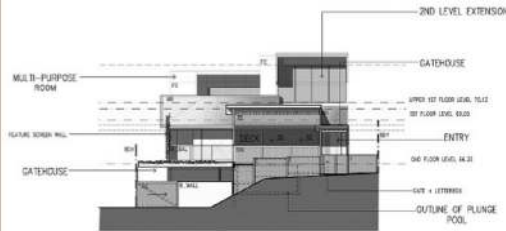
Onsite advice + Master planning
+ Sketch design



1. Meet and greet on site with an Architect/ Professional Designer to run through the design and proposal.
2. We will discuss the potential location on your site to discuss site orientation, aspects, views and prime location.
3. We will advise on the design that best fits your site.
4. Discuss budgets and process from start to finish.
5. Provide residential design advice and an estimate on cost to help you decide on the best investment options for your property.
6. Prepare a Site Brief
7. Measured drawings of existing house (if applicable).
8. Master plan drawings will be produced for the entire project and all sketch ideas and thoughts of the project will be presented to you.
9. An opinion of cost will be put together for your project
10. Sketch design plans & Elevations

2-DESIGNING

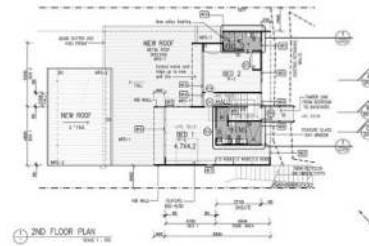
Drawings + materials + consultants



1. Plans are located on site and finalised (AutoCAD)
2. Plans are dimensioned to give you understanding of room sizes
3. All elevations, sections are detailed in AutoCAD computer.
4. Materials and finishes are selected.
5. Schedule of finishes provided showing materials
6. Client review + approval.
7. Drawings are sent to consultants.
8. Surveyor to be organised to come to site
9. Engineers to be engaged to complete documentation

3-APPROVALS

Construction documentation + Approvals



1. All documentation is finished + worked in conjunction with relevant consultants (surveyor, engineers, soil test report, certifier).
2. Documents include: Site plans, floor plans, roof plan, elevations, sections + door and window schedule. 1:100 scale
3. Co-ordinate the relevant consultants.
4. Lodge drawings to the local certifiers or council
5. Construction details given to the builder
6. Door and window schedule.

4-DETAILS

Details & turn the key!



1. Construction drawings / details are completed 1:50, 1:20 scale.
2. External work details (optional).
3. Joinery/Plumbing/Electrical/Lighting/Appendix (optional) 1:100.
4. Wet area (kitchen and bathroom) layouts (optional) 1:50.
5. Job is sent out to TENDER (optional) Review of all tenders are made and recommendation is made.
6. Final contracts between client and builder are signed.
7. Construction work will begin.
8. Project management of job with weekly inspections (optional).
9. Inspections on site and checking builders work.