

Australian Building Inspection Services Pty Ltd

PROPERTY & TIMBER PEST REPORT



Property Address **123 Example Boulevard Greater Brisbane Area
QLD 4000**

Report Number: **I026150**

Inspection Date & Time: **Tuesday 01 January 2013 08:00 AM**

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SECTION A – Results of Inspection – Summary

Please read the Terms set out in **SECTION I – Terms On Which This Report Was Prepared** carefully before proceeding.

This Summary is not the Report. The following Report **MUST** be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

A1 – Property Report – Summary

The property is a detached highset house and is approximately 30 years old. The property appears to have been constructed to an acceptable standard for the period using workmanship and materials of a reasonable quality and has since been poorly maintained.

<u>In respect of significant items:</u>
Evidence of Serious Safety Hazards was found. See Section E for further details.
Evidence of Structural Damage was found. See Section E for further details.
Evidence of Timber Pest Activity was found. See Section E for further details.
Evidence of Conditions Conducive to Structural Damage was found. See Section E for further details.
Evidence of Condition Conducive to Timber Pest Activity was found. See Section E for further details.
Following this inspection, the next inspection to help detect timber pest activity is recommended in 3 Months

This consultant does not investigate what has caused the issues identified in this report and does not provide details of the method, extent or cost of any remedial work required. A further detailed investigation by a competent person is required if the client wishes to establish what has caused a defect, the options for and the extent of remedial work required and associated costs.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

The consultant made best efforts using his training, experience and technology such as thermal imaging to detect and report the presence or otherwise of termite activity and/or damage. However, the secretive and often hidden behaviour of termites is such that termites and termite damage may be present at the time of the inspection but not detected. The client therefore, should not read “Evidence of Timber Pest Activity was not found” as meaning “No termites were present at the time of the inspection”. Also, where conditions conducive to timber pest activity are found there is a high likelihood that termite activity is either present but not discernible or not present at the time of the inspection but will occur in the near future.

As there may be building defects, termite, borer, or fungal decay activity in areas that were not readily accessible, a further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. Also see, **D4 – Undetected Structural Damage & Timber Pest Risk Assessments**.

Important risk management information is set out in **SECTION F – Building Maintenance Responsibilities**. If you have any queries with this Report or require further information, please do not hesitate to contact the ABIS Office on 07 3203 4888.

SECTION B – Service Details

As requested and agreed with the Client, the inspection carried out by a qualified Building Consultant and Timber Pest Detection Consultant (“The Consultant”) is a combined Property Report & Timber Pest Report (“The Report”).

The Consultant provides an objective opinion about the condition of the property at the time of inspection.

B1 – Pre-Engagement Inspection Agreement

Agreement Number	I026150
Date & Time of Agreement	15/01/2013

B2 – Client Details

Client Name	John and Jane Jones
Client Address	69 Your Street Greater Brisbane QLD 4000
Client Email Address	info@abis.com.au
Client Telephone Numbers	(W) (H) (M) 0414 888 999 (F)

B3 – Special Conditions / Instructions

There are no special conditions or instructions.

B4 – Consultant Details

Consultant Name	John Toomer
Consultant Licence Number (if applicable)	1009032
Company Name	Australian Building Inspection Services Pty Ltd

Company Address	PO Box 2316 REDCLIFFE NORTH QLD 4020
Company Email Address	mailto:morgan@abis.com.au
Company Telephone Number	07 3203 4888
Company Fax Number	07 3284 2044

IMPORTANT NOTES.

1. The Client (or any other party that is entitled to rely on and use this Report) is welcome to contact the ABIS Office on 07 3203 4888. Often it is very difficult to fully explain situations, problems, access restrictions, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this Report, then you should immediately contact the ABIS Office on 07 3203 4888 and have the matter explained.
2. If the Client (or any other party that is entitled to rely on and use this Report) has any questions or requires clarification, then you should contact the ABIS Office on 07 3203 4888 prior to acting on this Report.

B5 – Thermal Imaging

The inspection included thermal imaging of readily accessible parts of interior areas of the building. The Consultant used the thermal imaging camera where appropriate to complement the inspection process.

The thermal imaging camera is particularly used behind wet areas and in sub floor areas. In the event that the thermal image indicates an area of concern, it will appear in the body of the report together with a recommendation for further action if required.

Note: Detection of timber pest activity and dampness with thermal imaging can be impacted by among a number of factors, prevailing weather conditions, the use of the building, the type of construction, etc. See <http://www.abis.com.au/thermal-imaging> for further information on Thermal Imaging.

SECTION C – General Property Data

The records of the appropriate local authority should be checked to determine or confirm:

- Whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- The status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- Whether council has issued a building certificate or other notice for the dwelling.

In the case of strata and company title properties, as the inspection is limited to assessing the interior of a particular unit or lot, the client may have additional liability for defects or faults in the common property.

It would be prudent to conduct a search of the body corporate records and request details of any past building problems, maintenance history, programs and plans from the body corporate.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning, insurance, safety responsibilities, easements, covenants, restrictions, building code compliance, zoning certificates and all other law-related matters.

C1 – General Description of the Property

Building Type & Approximate Age	The property is a detached highset house and is approximately 30 years old.
Number of Storeys	Two
Additions, Improvements & Extensions	A carport BBQ Area A balcony deck The dwelling has been raised and built-in under.
Overall Quality of Construction & Level of Maintenance	The property appears to have been constructed to an acceptable standard for the period using workmanship and materials of a reasonable quality and has since been poorly maintained.
Building Position on Site	Towards the front of a large block
Site Gradient	Flat
Site Access	Reasonable pedestrian and vehicular access
Prevailing Weather Conditions at the time of inspection	Dry
Site Drainage	Appears adequately drained
Smoke Detectors	<u>None fitted</u> IMPORTANT NOTE. The Consultant cannot comment on the installation/testing requirements of smoke detectors as this is a specialist safety critical task that is not within the scope of this inspection and report. It is strongly recommended that the Client obtains advice from a suitably qualified person to either install the adequate amount of smoke detectors and/or ensure existing smoke detectors are of the required type and are installed and maintained correctly. See Smoke Detectors FAQ
Orientation Statement	The Consultant may use points of the compass in this Report and this orientation statement is provided as a reference point for the location of an item within the building. It is not intended to be an accurate statement of the true orientation of the building. The façade of the building faces *** PICK ORIENTATION ***. Please note that for the purpose of this Report the façade of the building contains the main entrance door.
Occupancy Status	Occupied and partly furnished
Safety Switch	The Consultant has not commented on the presence or otherwise of a safety switch as a qualified electrician is required to ensure that a safety switch is installed and working correctly on all circuits.
Other	

SECTION D – Accessibility

D1 – Areas Inspected

Unless noted in **B3 – Special Conditions / Instructions**, the inspection only covered the Readily Accessible Areas of the Building & Site.

Areas Included In The Scope Of The Inspection.	Building Exterior. Building Interior. Outbuildings. Roof Exterior. Roof Space. Subfloor Space.
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Note: Inspection of areas included in the scope of this inspection may be limited by obstructions and/or areas not being readily accessible including areas above 3.6 meters.

D2 – Areas Not Inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection including areas above 3.6 meters. The Consultant did not move or remove any obstructions which may be concealing evidence of defects including but not limited to structural damage and timber pest activity. Areas which are not normally accessible or unsafe were not inspected. Evidence of defects in obstructed or concealed areas may only be revealed when the items are removed or access has been provided.

Details of any areas not inspected are noted in Section E at the beginning of sub-sections **E4.1 Site Areas Not Inspected**, **E5.1 External Areas Not inspected** and **E6.1 Interior Areas Not Inspected**.

D3 – Obstructions

Details of any obstructions are noted in Section E on an area by area basis.

D4 – Undetected Structural Damage & Timber Pest Risk Assessments

The inspection of a property is always limited in some degree due to access restrictions or obstructions.

As there are areas within the scope of the inspection that were not readily accessible there is, in the opinion of the consultant, a High risk that building defects, termites, borers and fungal decay or conditions that will lead to building defects, termites, borers, and fungal decay were present at the time of the inspection but not identified or reported on.

Therefore, a further inspection is strongly recommended of areas that were not readily accessible, inaccessible or obstructed once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice contact the ABIS Office on 07 3203 4888.

Important Notes

Conditions conducive to timber pest activity (Termites, Borers and Fungal Decay), timber pest activity and damage associated with such activity may be present in areas that were hidden and or obstructed at the time of the inspection.

Conditions conducive to structural damage and structural damage may be present in areas that were hidden and or obstructed at the time of the inspection.

Where evidence of termite activity past or present is reported there is a high likelihood that damage and mudding exists in areas of the dwelling that were hidden and/or obstructed at the time of the inspection.

In the case of strata and company title properties, as the inspection is limited to assessing the interior of a particular unit or lot, it would be prudent to conduct a search of the body corporate records and request details of any termite management systems and past termite, borer or fungal decay problems from the body corporate.

SECTION E – Property & Timber Pest Report

E1 – Terms on which this Report was prepared

The terms on which this report was prepared including: the Purpose of Inspection; Scope of Inspection; Acceptance Criteria; Limitations; and Exclusions are set out in **SECTION I – Terms On Which This Report Was Prepared**.

Please read the Terms set out in SECTION I carefully before proceeding.

E2 – Significant Items

Defects and observations were reported on in accordance with the SCOPE OF INSPECTION see **I2 – Property Reporting Terms** and **I3 – Timber Pest Reporting Terms**.

Where evidence of conditions conducive to timber pest activity is present, timber pest activity **will** occur unless action is taken to prevent it.

Note: “conditions conducive to timber pest activity” include; a physical state, local temperature and humidity conditions, the presence of food or nesting materials, moisture, etc. that attract and promote termites, borers or fungal activity.

Where evidence of conditions conducive to structural damage is present, structural damage **will** occur unless action is taken to prevent it.


Note: “conditions conducive to structural damage” include; a physical state, excessive loads, corrosion, poor workmanship, inappropriate materials, damaged protective coatings and coverings, local temperature and humidity conditions, the presence of excessive moisture, defective plumbing, defective roof plumbing, defective or bridged damp-proof course, trees in proximity to the dwelling, poor subfloor ventilation, etc. A condition conducive is a condition that, with the passage of time, will lead to damage to structural elements.

E3 – Serious Safety Hazards

Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard. Such hazards are noted out of a duty of care. This should not be viewed however, as an audit or exhaustive list of all safety issues relating to the property.

E3.1 Identified Hazards

Serious Safety Hazard

Description	LPG gas cylinders have not be adequately restrained in accordance with AS5601.1. If cylinders are knocked or blown over gas line may rupture releasing gas..	
Location	The grounds at the rear of the building	
Recommendation	<p>This condition is considered dangerous. A further investigation by a licensed gasfitter is strongly recommended to determine the extent of remedial work required. The above recommendation should be implemented without delay</p> <p>Immediate action must be taken to ensure that anyone entering the area is warned of this hazard.</p>	

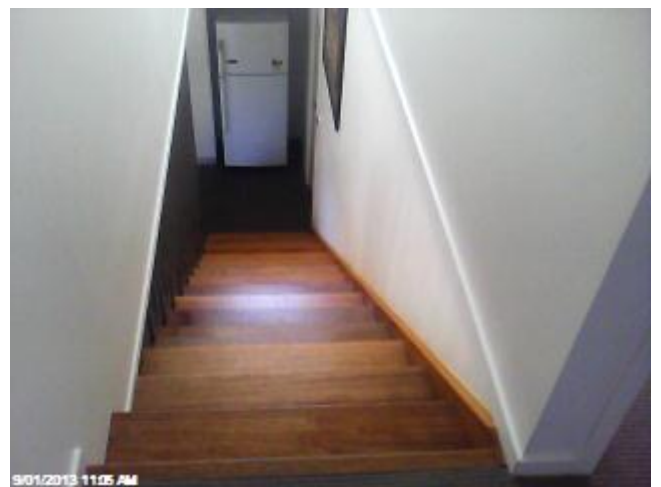
Serious Safety Hazard

Description	The platform or stair is more than 1 meter from the ground and has gaps greater than 125mm..
Location	The external stairs at the front of the building
Recommendation	<p>This condition is considered potentially dangerous. A further investigation by a licensed building contractor is strongly recommended to determine the extent of remedial work required. The above recommendation should be implemented without delay</p> <p>Immediate action must be taken to ensure that anyone entering the area is warned of this hazard.</p>




Serious Safety Hazard

Description	No handrail
Location	The internal stairs
Recommendation	<p>This condition is considered potentially dangerous. A further investigation by a licensed building contractor is strongly recommended to determine the extent of remedial work required. The above recommendation should be implemented without delay</p> <p>Immediate action must be taken to ensure that anyone entering the area is warned of this hazard.</p>



Serious Safety Hazard

Description	A fall risk exists in the roof void as insulation wholly or partially covers ceiling joists and other framing members. In this situation it is not possible to ensure that the weight of a person can be supported. .	
Location	The roof space in general	
Recommendation	This condition is considered dangerous. A further investigation by a competent person is strongly recommended to determine the extent of remedial work required. The above recommendation should be implemented as a matter of urgency.	

E3.2 Potential Service Hazards

The electricity service was not operational at the time of inspection.

Important Note. Where a electricity service is not operational the detection of a serious safety hazard could be affected. A further investigation by an electrician is strongly recommended.

E3.3 Safety Warnings

Most dwellings contain safety critical elements for example: structural fastenings, suspended floors, balconies, decks, stairs and balustrades. As failure of a safety critical element may result in serious injury or death it is strongly recommended that any safety critical elements in a dwelling be inspected annually.

This report is not an audit of safety and the client is warned that hazards and risks to safety may be present now or in the future that are not covered by this report. For their own safety and as a duty of care to others all home owners must ensure safety hazards on their properties are eliminated. To assist the home owner in identifying and removing safety hazards the consultant recommends the home owner has an annual safety audit conducted by a safety specialist and/ or an annual structural safety inspection conducted by a suitably qualified structural engineer.

Current building codes have specifically addressed past inadequacies in the design of balustrades to raised platforms (decks etc.) and stairs. Whilst there is no legislated requirement to bring older homes up to current standards, we recommend, in the interests of safety, that they be brought up to current standards. All balustrades should be a minimum of 1m high, that no gaps be present in stairs and balustrades be greater than 125mm, and that where a fall of 4m or more exists, the balustrades be non-climbable.

Lead based paint can also be a health risk if swallowed or inhaled. Dwellings constructed prior to 1970, and especially before 1940, may contain lead paint. Paint in good condition poses no health risk but lead paints should be removed from areas, which are deteriorating or likely to be licked or chewed by children. Sample test kits to identify lead paint can be purchased from most paint manufacturers or distributors. Special precautions must be taken for the removal of lead based paint. " ""

Suspended floors, decks, balconies and stairs in older homes may have employed joinery techniques that are inherently prone to catastrophic failure with the potential to cause serious injury or death. As the types of joint are often hidden or difficult to identify it is recommended that timber homes constructed prior to 1940 be subject to a special purpose inspection to identify at structures at risk and to recommend modifications to mitigate such risks. This report should not be relied upon to identify hidden or latent defects." ""

E4 – The Site

E4.1 Site Areas Not Inspected

This section details any site areas that couldn't be accessed and were not included in the inspection.

All the normally accessible areas permitted entry

E4.2 Site Structures

Site structures are free standing pergolas, green houses and the like, that are not part of the main building being inspected.

An inspection of the readily accessible areas of site structures was undertaken however, the consultant did not move or remove any obstructions such vegetation, stored goods, etc.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Yard Structure Defect/Observation

Area	Pergola
Location	Eastern Side Of The Structure
Element	Downpipe
Defect/Observation	Discharging near footings. All drainage should be connected to a storm water drain or directed well away from footings.
Extent	Widespread
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Plumber is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.



Yard Structure Defect/Observation

Area	Sleep out
Location	In General
Element	Termite Inspection Zone Termite Barrier
Defect/Observation	Missing
Extent	Widespread
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.



Site Walls & Fences are the boundary walls and fences and other walls and fences within the yard area.

An inspection of the readily accessible areas of site walls and fences was undertaken. However the consultant did not move or remove any obstructions such as vegetation, structures, built on alignment, stored materials and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Site Walls & Fence Defect/Observation

Structure	Retaining wall
Location	To the right hand side of the front door and left hand side of the driveway
Element	Brickwork
Defect/Observation	Cracked
Extent	Localised
Recommendation	This defect falls within the category of “Structural Damage”. It is strongly recommended that this defect be corrected. A further investigation by a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.



Site Walls & Fence Defect/Observation

Structure	Boundary fence	
Location	In General	
Element	Palings	
Defect/Observation	Earth-wood contact Note: Untreated or non-durable timbers in direct contact with the ground/soil produce a ready food source for termites. Also, susceptible timbers used in a hazardous environment are prone to fungal decay.	
Extent	Widespread	
Recommendation	This defect falls within the category of Conditions Conducive to Timber Pest Activity. It is strongly recommended that this condition be removed by either lowering the ground level or removing 30mm from the bottom of the palings. A further investigation by a Fencing specialist is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay.	

Site Walls & Fence Defect/Observation



Structure	Boundary fence	
Location	In General	
Element	Posts	
Defect/Observation	<p><u>Termite Damage</u></p> <p><u>Sign of Damage</u></p> <p>Visible damage to timber</p> <p>Note: Where evidence of termite damage is located within the building, it is possible that termites are still active in the concealed or inaccessible areas of the building and they may continue to cause further damage. A further more invasive inspection is recommended. For further advice consult a licensed pest controller.</p>	
Extent	Undetermined	
Recommendation	<p>This defect falls within the category of "Timber Pest Activity and/or Damage". It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Fencing specialist is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented promptly</p>	

Site Walls & Fence Defect/Observation

Structure	Retaining wall
Location	Eastern Side Of The Property
Element	All retaining wall elements
Defect/Observation	<p><u>Overturning</u></p> <p>Note: retaining walls above 1M are a safety critical item requiring engineering approval.</p> <p>Typically a failing retaining wall will start to overturn or rotate to a point and then fail catastrophically.</p>
Extent	Widespread
Recommendation	<p>This defect falls within the category of “Structural Damage”. It is strongly recommended that this defect be corrected.</p> <p>A further investigation by a Structural Engineer is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as a matter of urgency.</p>



Site Walls & Fence Defect/Observation

Structure	Retaining wall	
Location	Eastern Side Of The Property	
Element	<u>Railway Sleepers</u>	
Defect/Observation	<p><u>Fungal Decay</u> Damage <u>Sign of Fungal Decay</u> Collapse of structural timbers <u>Damage Status</u> Decayed wood</p> <p>Note. Decayed wood is reduced both in moisture content and size as indicated by cracking either along or across the grain or fibres coming apart in a stringy manner. Decayed wood will have undergone considerable strength reduction. It is important to correct any condition conducive to activity prior to replacing decayed wood.</p>	
Extent	Widespread	
Recommendation	<p>This defect falls within the category of “Timber Pest Activity and/or Damage”. It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Landscaper is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay</p>	

Site Walls & Fence Defect/Observation

Structure	Gate
Location	Western Side Of The Property
Element	Palings
Defect/Observation	Damaged
Extent	Localised
Recommendation	This defect requires repair or replacement as soon as possible.



This section covers the ground area around the property

An inspection of the readily accessible areas of the ground area around the dwelling was undertaken. However the consultant did not move or remove any obstructions such as vegetation, structures, motor vehicles, stored materials and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Important Information on Trees & Shrubs (Applies to all homes with a yard or grounds)

The roots of trees and shrubs can affect footings by removing moisture from clay soils immediately underneath the building causing subsidence as the clay shrinks.

In its search for water, a tree root system can spread a lateral distance equal to the height of the tree. If in rows or grouped with other trees, the roots may spread up to twice the height of the tree.

Care should be taken when selecting trees and, as a guide, the trees listed should not be planted within the distance of their mature height from the building depending on the site classification and whether they are to be planted in a line or in a group.

Height of Tree(h) Distance from house (d)

$d = 1 h$ for class H and M sites.

$d = 1.5 h$ for class E sites.

$d = 2 h$ for rows or groups of trees.

[A simple how to Guide to Preventing Structural Damage](#)

APPROXIMATE TREE HEIGHTS

10 to 20m	20 to 30m	30m to 60m
Acacias	But-But	Blue Gum
Ash	Cedars	Cypress
Athel Tree	English Oak	English Elm
Candlebark	Lemon Gum	Figs
Manna Gum	Palms	Karri
Pepper Tree	Planes	Pines
Willows	Sheoaks	Poplars
Yate	Silky Oak	River Gum
Yellow Gum	Spotted Gum	Sugar Gum

Tree roots in proximity to a dwelling can also provide conditions conducive to the ingress of termites and termite activity.

Grounds Defect/Observation


Area	Paved Area
Location	In general
Element	Paving
Defect/Observation	Deformation
Extent	Widespread

Recommendation

This defect requires repair or replacement as soon as possible.



Grounds Defect/Observation


Area	Yard	
Location	North-western side of the property	
Element	Unfinished Ground	
Defect/Observation	Eroded	
Extent	Widespread	
Recommendation	The consultant recommends that the client undertakes regular maintenance and continues to monitor the defect. Repairs may be necessary in the event the defect becomes more significant.	

Grounds Defect/Observation


Area	Driveway
Location	Northern side of the property
Element	<p>Concrete Paving</p> <p>Cracking and movement to driveways and other paving in yards is common.</p> <p>The causes of this cracking include poor preparation of the sub-soil, insufficient reinforcing, insufficient thickness of concrete, consolidation of soil, poor drainage, ravages of time etc.</p> <p>Apart from replacement filling cracks with sealant will slow the process of deterioration caused by water entering the cracks.</p>
Defect/Observation	Cracked
Extent	Widespread
Recommendation	<p>The consultant recommends that the client undertakes regular maintenance by filling cracks with sealant and maintaining good drainage.</p> <p>The cracks should continue to be monitored. Repairs may be necessary in the event the defect becomes more significant.</p>



Grounds Defect/Observation

Area	Yard	
Location	In general	
Element	Garden	
Defect/Observation	Too close to the building	
Extent	Widespread	
Recommendation	<p>This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Landscaper is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented promptly.</p>	

Grounds Defect/Observation

Area	Yard	
Location	Western side of the property	
Element	Tree Stump	
Defect/Observation	<p><u>Termite Activity</u> <u>Sign of Activity</u></p> <p>Subterranean termite workings including mudding, shelter tubes and damage to timber not in service.</p> <p>Note: Where evidence of termite activity is located within a building or within 50 m of any building (but no live termites were found), it is possible that termites are still active in the concealed or inaccessible areas of the building and they may continue to cause further damage. A further more invasive inspection is strongly recommended. For further advice contact a licensed pest controller.</p>	
Extent	Localised	
Recommendation	<p>This defect falls within the category of "Timber Pest Activity and/or Damage". It is strongly recommended that action be taken to manage timber pests and repair any damage. The above recommendation should be implemented as soon as possible</p>	

<u>Termite Management Programme</u>	
Documentation	<p>Certificate of Installation sighted</p> <p>Note: The building owner should contact the pest controller that installed the termite barrier system for further information pertaining to any service warranties and advice in regard to the building owner’s obligation to maintain the system.</p>
Evidence	<p>Durable notice in electrical meter box indicating the possible installation of a termite barrier system</p> <p>Note: All relevant documents pertaining to the installation of any previous termite barrier system should be obtained by the building owner and keep on file including, any service warranties and advice in regard to the building owner’s obligation to maintain the system. However, subterranean termites can bridge or breach barrier systems and thorough regular inspections of the building are necessary. If evidence of a previous treatment of termite infestation is found, and appropriate documentation is not available, it must be assumed that the termite infestation may still be active in areas of the property not inspected. Accordingly, a re-treatment may be required.</p> <p>Installation of a possible termite barrier</p> <p>Note: All relevant documents pertaining to the installation of any previous termite barrier system should be obtained by the building owner and keep on file including, any service warranties and advice in regard to the building owner’s obligation to maintain the system. However, subterranean termites can bridge or breach barrier systems and thorough regular inspections of the building are necessary. If evidence of a previous treatment of termite infestation is found, and appropriate documentation is not available, it must be assumed that the termite infestation may still be active in areas of the property not inspected. Accordingly, a re-treatment may be required.</p>

Important Termites Message

Typically a chemical termite barrier, treated zone or baiting system is installed by an owner/builder as either a precaution (recommended for all homes by the Queensland government) or in response to past termite activity in a home. The good practice procedure following detection of termites is :

- a) Treat the termite activity and eradicate the colony.
- b) When termite colony eradication is achieved repair any damage.
- c) Remove conditions conducive to termite activity.
- d) Install a Termite Management System such as a chemical barrier, treated zone or baiting system.
- e) Have annual timber pest inspections and ensure the termite management system is maintained on an ongoing basis.

As this procedure is not always followed by home owners or bodies corporate, there is a risk that when evidence of past termite treatment or activity exists, termite damage and/or activity may still exist in areas that are hidden or not readily accessible.

Past termite activity in a home should not be a concern providing steps a) to e) above have been followed.

Termites are an important part of the natural environment and are widespread in Queensland. The key to protecting our homes is to remove the conditions that allow them to thrive. Where the report talks about "Conditions conducive to timber pest activity" this should be read as "if you don't remove this condition it is only a matter of time before you have fungal decay, borers or termites".

Where termite damage past or present, termite activity, and/or conditions conducive to termites are reported, the client must appreciate, that as a typical colony of termites must consume 30g of timber per day to survive (*French JRJ, Ahmed BM, Thorpe J (2010) Deciding the age of subterranean termite damage in buildings*), termites can enter the property and do considerable damage between the day of the inspection and the client taking possession of a property. Because of this, and other termite behaviours, no guarantees or warranties in relation to the absence of termites can be given.

The consultant made best efforts using his training, experience and technology such as thermal imaging to detect and report the presence or otherwise of termite activity and/or damage. However, the secretive and often hidden behaviour of termites is such that termites and termite damage may be present at the time of the inspection but not detected. The client therefore, should not read "Evidence of Timber Pest Activity was not found" as meaning "No termites were present at the time of the inspection". Also, where conditions conducive to timber pest activity are found there is a high likelihood that termite activity is either present but not discernible or not present at the time of the inspection but will occur in the near future.

Note: According to entomological research by the University of Florida, with the exception of specially trained sniffer dogs which have an accuracy of around 95%, a non-invasive inspection by a timber pest inspector following best practice has accuracy in detecting live termites of less than 40%.

E5 – The Exterior

E5.1 External Areas Not inspected

This section details any external areas that couldn't be accessed and were not included in the inspection.

All the normally accessible areas permitted entry.

E5.2 Roof Coverings

Roof coverings are the roof tiles, roof sheeting, and the like together with their fastenings, capping and flashings.

The roof covering is the primary barrier in preventing rain water entering a building and damaging its structure and contents. Regular maintenance of the roof is very important and should be carried out regularly by all home owners.



An inspection of the readily accessible areas of the roof was undertaken. However the consultant did not move or remove any obstructions such as vegetation, water heaters, solar panels, pool heaters and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Type of Roof Covering Inspection

An inspection of readily accessible parts of the roof covering were made from by the inspector climbing onto the roof. Probing and sounding tests were conducted.

Roof Covering Defect/Observation

Structure	The roof to the main building.	
Area Affected	On the eastern side of the building	
Element	Roof sheeting	
Defect/Observation	Dented, damaged	
Extent	Undetermined	
Recommendation	This defect should be addressed by a Licensed Roof Plumber as soon as possible.	

Roof Covering Defect/Observation

Structure	The roof to the main building.
Area Affected	In general
Element	Fastenings
Defect/Observation	Defective
Extent	Undetermined



Recommendation

This defect should be addressed by a Licensed Roof Plumber as soon as possible.

Roof Covering Defect/Observation

Structure	The lower roof to the main building.
Area Affected	On the south-eastern side of the building
Element	Mortar bedding Mortar pointing Roof tiles
Defect/Observation	Cracked
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Roof Tiler as soon as possible.



Roof Covering Defect/Observation

Structure	The roof to the main building.
Area Affected	In general
Element	Fastenings
Defect/Observation	Corroding
Extent	Widespread
Recommendation	This defect requires repair or replacement as soon as possible.



External wall can be categorised into Loadbearing and Non-loadbearing. A concrete block construction for example is load bearing and the blocks and mortar are designed to support the roof loads and resist wind forces whereas in a brick- veneer construction the brickwork provides no supporting function and is installed for aesthetics and to keep the weather away from the structural timber or steel frame that supports the roof.


The External Walls of the building were inspected from the ground level. Tests (moisture, probing, sounding etc.) were not carried out on any areas above 3.6 meters.

Note: Where additions such as shade structures or pergolas are to be installed. They should not be attached to external walls without due consideration to the walls ability to carry the loads being added.

An inspection of the readily accessible areas of exterior walls and fences was undertaken. However the consultant did not move or remove any obstructions such as vegetation, structures, water tanks, built on alignment, window awnings, paving, gas bottles, hot water systems, AC units, stored materials and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

External Wall Defect/Observation



External Wall	External wall to the garage	
Location	North-eastern side of the building	
Element	Cladding	
Element Type	Non-loadbearing	
Defect/Observation	Broken	
Extent	Localised	
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.	

External Wall Defect/Observation


External Wall	External walls to the main building
Location	In general
Element	Termite barrier Termite Inspection Zone
Element Type	Non-loadbearing
Defect/Observation	<p>Bridging</p> <p>Note: 'Bridging' is the spanning of a termite barrier or inspection zone so that subterranean termites are provided with passage over or around that barrier. Australian Standard AS 3660 recognises that barriers shall not be bridged by structures attached to the main building e.g. steps, verandahs, access ramps, claddings, carports, or trellises unless alternative barriers are used to prevent access by termites to the structure.</p>
Extent	Widespread
Recommendation	<p>This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay.</p>



External Wall Defect/Observation

External Wall	External wall	
Location	Carport Storeroom, South-western side of the building	
Element	Wall bottom plate	
Element Type	Non-loadbearing	
Defect/Observation	<p><u>Termite Damage</u> <u>Sign of Damage</u> Visible damage to timber</p> <p>Note: Where evidence of termite damage is located within the building, it is possible that termites are still active in the concealed or inaccessible areas of the building and they may continue to cause further damage. A further more invasive inspection is recommended. For further advice consult a licensed pest controller.</p>	
Extent	Undetermined	
Recommendation	<p>This defect falls within the category of "Timber Pest Activity and/or Damage". It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay</p>	

External Wall Defect/Observation


External Wall	External wall to the main building	
Location	Western side of the building	
Element	Weather-boarding	
Element Type	Non-loadbearing	
Defect/Observation	<p>Fungal Decay Damage</p> <p><u>Sign of Fungal Decay</u></p> <p>Visible damage to timber</p> <p><u>Damage Status</u></p> <p>Undetermined</p> <p>Note. Where the overall condition of the timber is undetermined, further inspections are strongly recommended. This may require monitoring of the timber over a period of time and include the assessment of conditions conducive to activity (e.g. in different weather conditions).</p>	
Extent	Localised	
Recommendation	<p>This defect falls within the category of "Timber Pest Activity and/or Damage". It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible</p>	

The exterior of External Windows of the building were inspected from the ground level. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.


An inspection of the readily accessible exterior of external windows was undertaken. However the consultant did not move or remove any obstructions such as vegetation and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

External Window Defect/Observation

Location	Windows In general	
Element	Fly screen frames	
Defect/Observation	Damaged	
Extent	Localised	
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.	

External Window Defect/Observation

Location	Bedroom window Entry level Western side of the building	
Element	Glass	
Defect/Observation	<u>Cracked</u>	
Extent	Localised	
Recommendation	This defect requires replacement as soon as possible.	

External Window Defect/Observation

Location	Bedroom window Eastern side of the building
Element	Glass
Defect/Observation	Cracked
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson without delay.



External Window Defect/Observation


Location	Windows In general
Element	Glazing compound
Defect/Observation	Dislodging
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



This section covers the exterior of External Doors including sliding glass doors if present.

Any doors that are locked or jammed may be concealing defects and/or timber pest activity which may only be revealed when the door can be inspected through its full range of movement. For further advice see Section D – Undetected Defect Assessment.

External Door Defect/Observation

Doors	Front door	
Location	Eastern side of the building	
Element	Head	
Defect/Observation	<p>Termite Damage</p> <p><u>Sign of Damage</u></p> <p>Visible damage to timber</p> <p>Note: Where evidence of termite damage is located within the building, it is possible that termites are still active in the concealed or inaccessible areas of the building and they may continue to cause further damage. A further more invasive inspection is recommended. For further advice consult a licensed pest controller.</p>	
Extent	Widespread	
Recommendation	<p>This defect falls within the category of “Timber Pest Activity and/or Damage”. It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay</p>	

External Door Defect/Observation

Doors	Front doors
Location	Northern side of the building
Element	Doors
Defect/Observation	Binding, poorly fitted
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



External Door Defect/Observation

Doors	Laundry door
Location	Southern side of the building
Element	Door
Defect/Observation	Delamination Insufficient protective weather coating has caused layers of plywood or the like to detach or separate from the under layers or frame.
Extent	Localised
Recommendation	This defect requires repair or replacement promptly.



External Door Defect/Observation

Doors	Garage door
Location	Western side of the building
Element	Door
Defect/Observation	Damaged
Extent	Localised
Recommendation	This defect requires repair or replacement as soon as possible.



External Door Defect/Observation

Doors	Sliding glass door
Location	Eastern side of the building
Element	Sliding door rollers
Defect/Observation	Defective Sliding door rollers tend to wear over time and cause sliding doors to become difficult to open and close.
Extent	Localised
Recommendation	This defect requires the rollers to be replaced as soon as possible.



Rainwater Pipes & Gutters are roof plumbing or rain water goods that include eaves gutters, down pipes, spreaders, flashing, spouts, collectors and the like.

Together with the roof covering rainwater goods collect and direct rainwater away from the dwelling reducing the risk of rain water entering a building and damaging its foundations, structure and contents.

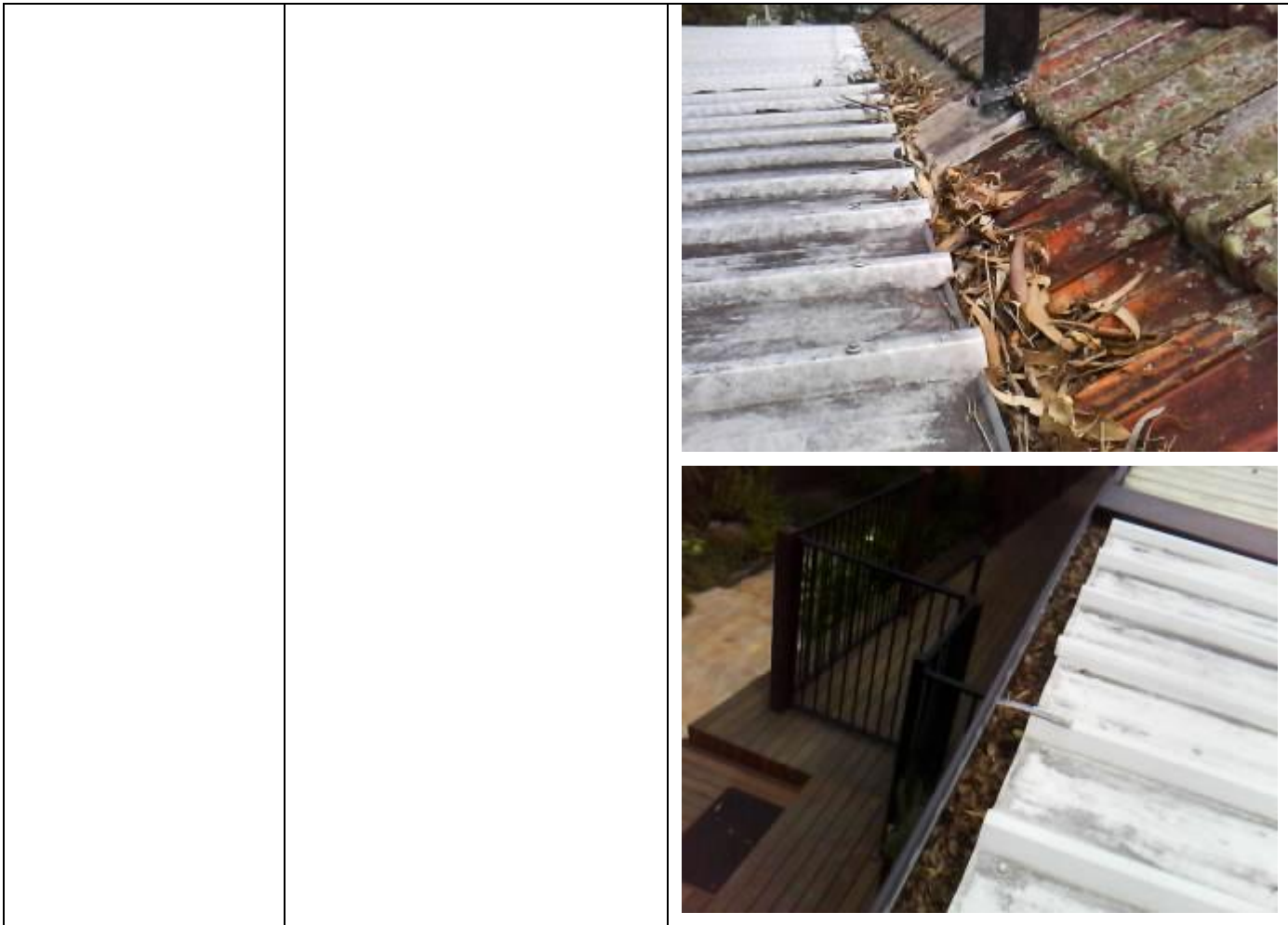
Regular maintenance of the rainwater goods especially keeping gutters free of leaves is very important and should be carried out regularly by all home owners.

The limitations on the inspection that applied to the sections above covering roof coverings and external walls also apply to this section including the roof covering inspection type.

Rainwater Goods Defect/Observation

Location	Main building and additions In general
Element	Valley Gutter Eaves Gutters
Defect/Observation	Blocked with debris
Extent	Widespread
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. The above recommendation should be implemented promptly.





Rainwater Goods Defect/Observation

Location	Enclosed patio North-eastern side of the building
Element	Downpipe Spreader
Defect/Observation	Incorrectly installed
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Roof Plumber as soon as possible.



Rainwater Goods Defect/Observation

Location	Main building North-eastern side of the building
Element	Downpipe Brackets
Defect/Observation	Dislodged
Extent	Localised
Recommendation	This defect requires repair or replacement as soon as possible.




Rainwater Goods Defect/Observation

Location	Main building In general
Element	Stormwater Connection
Defect/Observation	Damaged
Extent	Widespread
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Plumber is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.



Rainwater Goods Defect/Observation

Location	Main building In general	
Element	Metal Downpipes	
Defect/Observation	Corrosion Note: If the conditions that are have allowed the corrosion to take place are not removed and or the affected metal is not protected from further corrosion the corrosion is likely to continue. Where corrosion is significant replacement is usually more cost effective than repair.	
Extent	Localised	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Roof Plumber is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented promptly.	


External Stairs are stairs outside the external walls of the building that typically run from the ground level to a landing or raised deck at the first floor level.

Stairs are a safety critical element and in the interest of safety, current building codes have promoted greatly improved stair design and construction in recent years.


Whilst not a legislative requirement, the prudent owner should consider bringing older stairs up to the standards of the current building codes.

As failure of a safety critical element may result in serious injury or death it is strongly recommended that stairs to a dwelling be inspected annually.

External Stairs Defect/Observation

Location	Steps North-eastern side of the building	
Element	Stringer	
Defect/Observation	Damaged	
Extent	Localised	
Recommendation	This defect requires repair or replacement as soon as possible.	

External Stairs Defect/Observation

Location	Front stairs Northern side of the building	
Element	Stairs	
Defect/Observation	Not level	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

External Stairs Defect/Observation

Location	Front and rear stairs
Element	<u>Handrails, Newel</u> Posts, landing joists and floorboards
Defect/Observation	<p><u>Fungal Decay</u> Damage</p> <p><u>Sign of Fungal Decay</u></p> <p>Visible damage to timber</p> <p><u>Damage Status</u></p> <p>Decaying wood</p> <p>Note. Decaying wood contains sufficient moisture to retain its original shape. However, decay will most likely spread (unless sources of moisture are quickly removed).</p>
Extent	Localised
Recommendation	<p>This defect falls within the category of "Timber Pest Activity and/or Damage". It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Licensed Tradesperson is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible</p>



External Stairs Defect/Observation

Location	Front and rear stairs
Element	Handrails
Defect/Observation	Do not meet current building regulations
Extent	Localised
Recommendation	Although not required it is still recommended that they are upgraded to meet current regulations as soon as possible.



External Stairs Defect/Observation

Location	Rear stairs Southern side of the building
Element	Steel columns
Defect/Observation	Corrosion
Extent	Localised
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage. It is strongly recommended that this condition be removed. A further investigation by a Licensed Tradesperson is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay.



External Platforms is a generic expression to cover all decks, patios, balconies, verandahs etc external to be attached to the exterior walls of the dwelling.

External Platforms are safety critical elements.

Whilst not a legislative requirement, the prudent owner should consider bringing any older balustrades up to the standards of the current building codes.


As failure of a safety critical element may result in serious injury or death it is strongly recommended that any external platforms to the dwelling be inspected annually.

Any External Platforms to the building were inspected from the ground level and from on the platform. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.

An inspection of the readily accessible External Platforms was undertaken. However the consultant did not move or remove any obstructions such as vegetation, coverings, stored goods, ceilings and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

External Platform Defect/Observation

Location	Deck South-eastern side of the building	
Element	Bearers	
Defect/Observation	Insufficient clearance from ground	
Extent	Widespread	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.	

External Platform Defect/Observation

Location	Deck Eastern side of the building
Element	Frame
Defect/Observation	Earth-wood contact Note: Untreated or non-durable timbers in direct contact with the ground/soil produce a ready food source for termites. Also, susceptible timbers used in a hazardous environment are prone to fungal decay.
Extent	Localised
Recommendation	This defect falls within the category of Conditions Conducive to Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented promptly.



External Platform Defect/Observation

Location	Balcony Northern side of the building
Element	Timber trim
Defect/Observation	Fixing failure
Extent	Localised
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.




Other External Primary Elements are structural elements that are not included in the other external section above and include items such as eaves linings of soffits, barge boards, vent pipes, flashing, water heaters, AC Units conduit and the like.

The exterior of the building were inspected from the ground level. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.



An inspection of the readily accessible exterior areas was undertaken. However the consultant did not move or remove any obstructions such as vegetation and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Other External Primary Element Defect/Observation

Location	South-western side of the building	
Element	Pergola roof frame	
Defect/Observation	<u>Poor workmanship</u> , not compliant with standard building regulations.	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Builder as soon as possible.	

Other External Primary Element Defect/Observation

Location	Eastern side of the building	
Element	Patio roof posts	
Defect/Observation	Earth-wood contact Note: Timbers in direct contact with the ground/soil produce a ready food source for termites. Also, susceptible timbers used in a hazardous environment are prone to fungal decay.	
Extent	Localised	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. The above recommendation should be implemented as soon as possible.	


Other External Secondary & Finishing Elements are non-structural elements that are not included in the other external section above and include items such as eaves linings of soffits, barge boards, vent pipes, flashing, water heaters, AC Units conduit and the like.

The exterior of the building were inspected from the ground level. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.


An inspection of the readily accessible exterior areas was undertaken. However the consultant did not move or remove any obstructions such as vegetation and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Other External Secondary & Finishing Element Defect/Observation

Location	In general	
Element	Water heater	
Defect/Observation	Discharging near footings. All AC or Water Heater drainage should be connected to a storm water drain, down pipe or directed well away from footings.	
Extent	Localised	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. The above recommendation should be implemented promptly.	

Other External Secondary & Finishing Element Defect/Observation

Location	Western side of the building	
Element	Air-conditioning unit	
Defect/Observation	Discharging near footings. All AC or Water Heater drainage should be connected to a storm water drain, down pipe or directed well away from footings.	
Extent	Localised	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Installer is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay.	

Other External Secondary & Finishing Element Defect/Observation

Location	In general
Element	Paintwork
Defect/Observation	Deterioration
Extent	Widespread
Recommendation	Repainting is required.



Other External Secondary & Finishing Element Defect/Observation

Location	Southern side of the building
Element	Carport structure
Defect/Observation	Covered in vegetation
Extent	Widespread
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. The above recommendation should be implemented without delay.



E6 – The Interior

E6.1 Interior Areas Not Inspected

All the normally accessible areas permitted entry.

E6.2 Roof Space & Roof Frame

Roof Space & Roof Frame refers to house designs that have a pitched roof and a readily accessible void under the roof covering and above the ceiling of the rooms below. Some roof designs such as flat, skillion and cathedral do not have roof voids and are not inspected.

Roof voids are not designed for to be traversed and contain many potential hazards. Anyone considering entering a roof void must only enter when they have assessed it is safe to do so. Safety hazards in roof voids include falling, electrical shock, trip hazards, chemical hazards, dust hazards, impalement hazards, heat stroke, and the like.

If the Consultant was able to enter the roof void, the inspection is often limited by, insulation, sarking, insufficient crawl space, low pitch at the eaves, air-conditioning units and ducting, water heaters, stored goods, etc.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.





Roof Structure Description

Structure	The roof to the main building
Description	Timber framed pitched roof


Type of Roof Void Inspection

An inspection of readily accessible parts of the roof void was made by the inspector climbing into the roof void. Probing and sounding tests were conducted.

Roof Space Defect/Observation

Structure	The roof to the main building	
Area Affected	The areas on the eastern sides	
Element	Rafters Ceiling Joists	
Defect/Observation	<p><u>Termite Damage</u></p> <p><u>Sign of Damage</u></p> <p>Visible damage to timber</p> <p>Note: Where evidence of termite damage is located within the building, it is possible that termites are still active in the concealed or inaccessible areas of the building and they may continue to cause further damage. A further more invasive inspection is recommended. For further advice consult a licensed pest controller.</p>	
Extent	Undetermined	
Recommendation	<p>This defect falls within the category of "Timber Pest Activity and/or Damage". It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay</p>	

Roof Space Defect/Observation

Structure	The roof to the main building	
Area Affected	In general	
Element	Roof tiles	
Defect/Observation	Fretting	
Extent	Undetermined	
Recommendation	This defect should be addressed by a Licensed Roof Tiler without delay.	

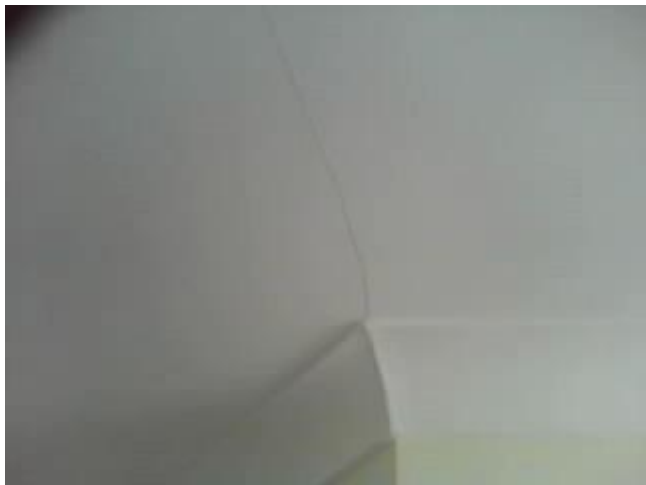
Cornice is the moulding or finishing element covering the intersection between the vertical wall and the horizontal Ceiling.

Ceilings are formed by sheets or boards attached to battens which are in turn attached to ceiling joists or the bottom cords of roof trusses. In newer constructions the ceiling may be attached directly to the bottom cords of trusses.


An inspection of the readily accessible Ceilings & Cornice was undertaken. However the consultant did not move or remove any obstructions such as built-in fixtures and fittings or stored goods.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Ceiling & Cornice Defect/Observation

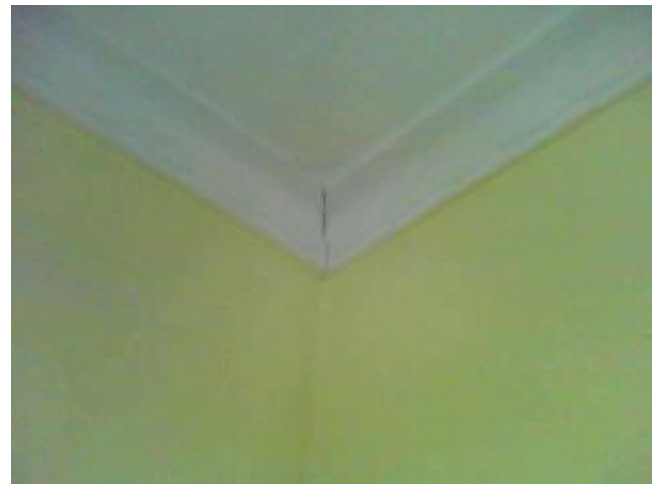
Element	Ceiling	
Location	Hallway, Ground floor North-western side of the building	
Defect/Observation	Cracked	
Extent	Localised	
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.	

Ceiling & Cornice Defect/Observation

Element	Ceiling	
Location	Kitchen	
Defect/Observation	<p>Mould growth</p> <p>Note: Where evidence of mould growth was noted, there may be environmental, biological or health issues associated with this report. Any questions concerning such issues due to the presence of mould, the release of mould spores or concerning indoor air quality should be immediately directed to an appropriately qualified inspector.</p>	
Extent	Localised	
Recommendation	<p>This defect should be addressed by a Licensed Tradesperson as soon as possible.</p>	

Ceiling & Cornice Defect/Observation

Element	Cornice
Location	Bathroom, First floor South-western side of the building
Defect/Observation	Cracked The consultant is of the opinion that these cracks are consistent with common minor settlement and frame shrinkage.
Extent	Localised
Recommendation	When the interior of the building is next decorated these cracks should be filled and sanded prior to repainting. In the event that the cracks become significantly larger a further investigation may be required by a licenced builder to establish the extent of remedial work required and associated costs.



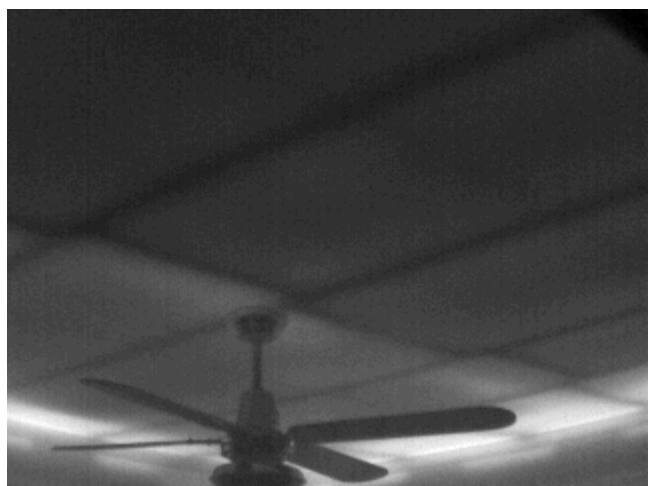
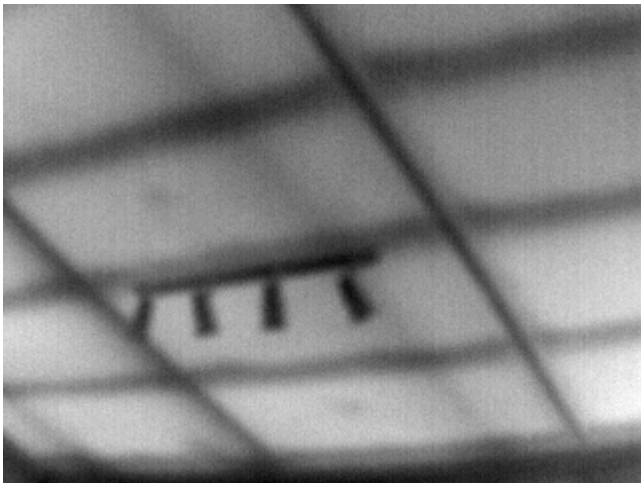
Ceiling & Cornice Defect/Observation

Element	Man hole cover
Location	Garage, Entry level North-eastern side of the building
Defect/Observation	Missing
Extent	Localised
Recommendation	Replace the missing element as soon as possible.



Ceiling Thermal Inspection

The readily accessible ceilings were inspected using a thermal imaging camera. Any defects identified by this process are detailed in the relevant sections together with any thermal images of defects. The following images are not defects and are simply provided to document the thermal environment existing at the time of the inspection. See <http://www.abis.com.au/thermal-imaging> for further information




Internal Walls are both the interior surface of the perimeter loadbearing walls of the building and internal partition walls that may be loadbearing or non-loadbearing.

An inspection of the readily accessible Internal Walls was undertaken. However the consultant did not move or remove any obstructions such as built-in fixtures and fittings, stored goods, wall coverings, wall linings, furniture, wall hangings, pictures, clothing and personal effects, appliances, packing boxes, etc.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Internal Wall Defect/Observation

Location	Hallway, landing Upper level Below the window outside the left side bedroom	
Element	Wall lining	
Defect/Observation	Cracked	
Extent	Localised	
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.	

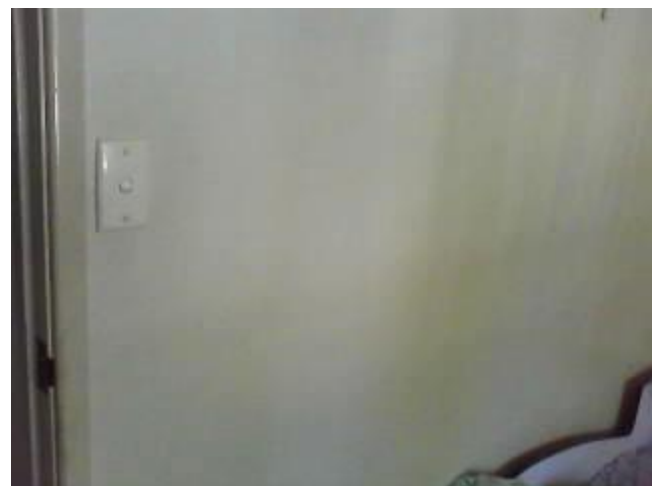
Internal Wall Defect/Observation

Location	In general, Ground floor Throughout
Element	Walls
Defect/Observation	Dents, marks & scratches
Extent	Widespread
Recommendation	The consultant recommends that the client undertakes regular maintenance. Repairs may be necessary in the event the defect becomes more significant.




Internal Wall Defect/Observation

Location	In general
Element	Wall finishes and paintwork
Defect/Observation	The general decorative condition and painting throughout the interior is poor.
Extent	Widespread
Recommendation	Preparation and Repainting is required.

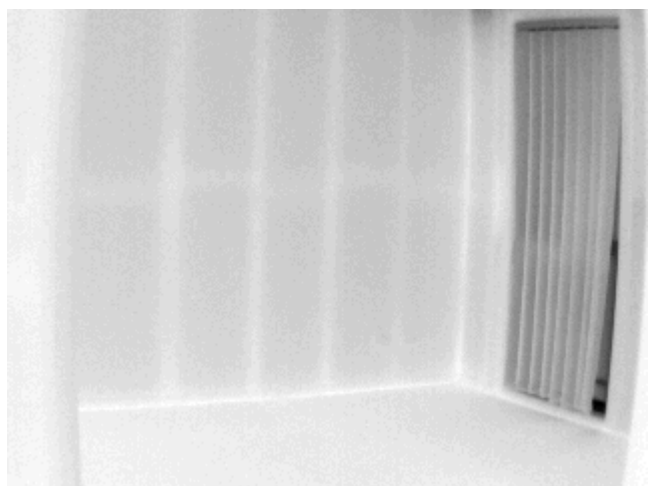
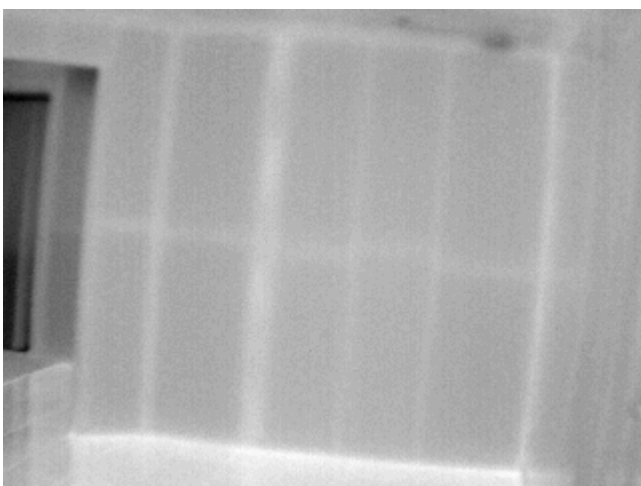
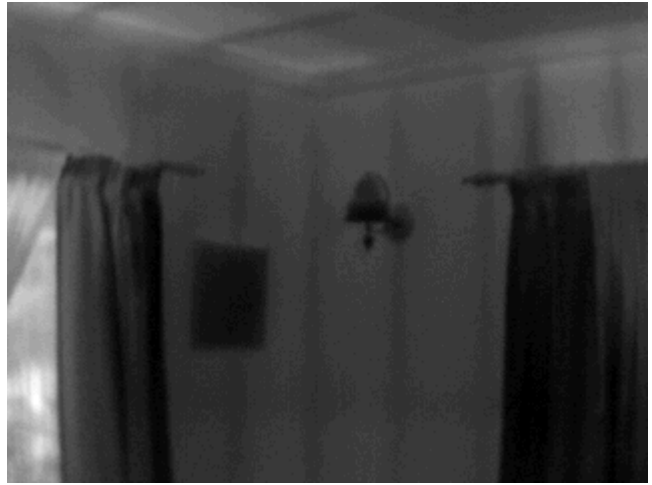
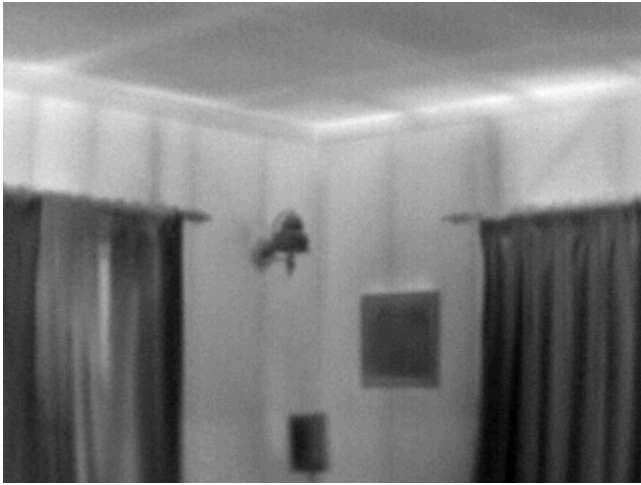


Internal Wall Defect/Observation

Location	Lounge Room Entry level Backing onto the shower	
Element	Wall lining	
Defect/Observation	Moisture damage from possible leaking shower	
Extent	Localised	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Plumber is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.	

Internal Wall Thermal Inspection

Readily accessible sections of internal walls behind wet areas, where conditions conducive to timber pest exist externally etc. were inspected using a thermal imaging camera. Any defects identified by this process are detailed in the relevant sections together with any thermal images of defects. The following images are not defects and are simply provided to document the thermal environment existing at the time of the inspection. See <http://www.abis.com.au/thermal-imaging> for further information



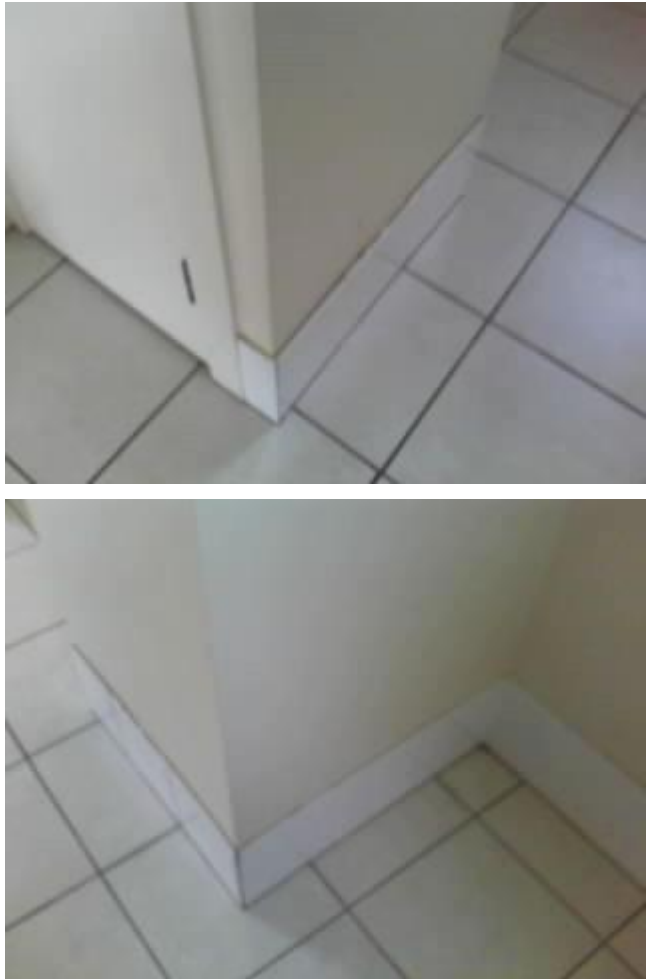
Skirtings are the mouldings or finishing elements covering the intersection between the vertical wall and the horizontal Floor.

An inspection of the readily accessible Floors & Skirtings was undertaken. However the consultant did not move or remove any obstructions such as built-in fixtures and fittings, stored goods, wall coverings, wall linings, furniture, wall hangings, floor coverings including carpet and floating timber flooring, floor tiles, clothing and personal effects, appliances, packing boxes, etc.



Note: The early signs of termite activity are often detected by sounding (tapping) skirtings. This sounding is only possible where the skirting is not obstructed and there is enough room for the consultant to undertake the sounding process.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.


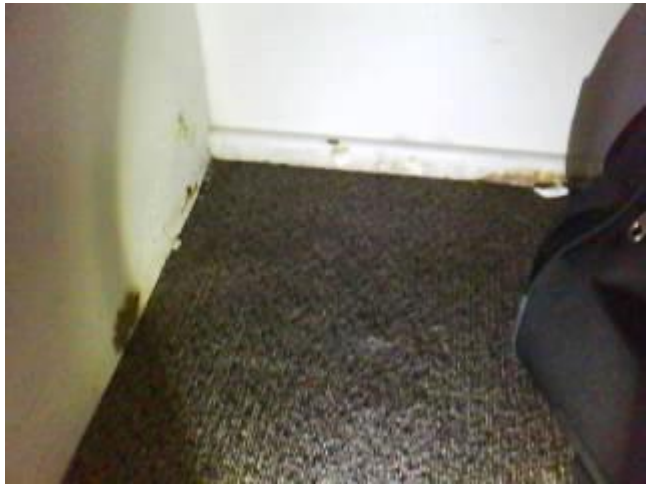
Floors & Skirtings Defect/Observation

Element	Skirting tiles	
Location	Laundry, WC, Bathroom, Entry level Western side of the building	
Defect/Observation	Dislodged	
Extent	Localised	
Recommendation	This defect requires repair or replacement as soon as possible.	


Floors & Skirtings Defect/Observation

Element	Floor slab	
Location	Garage, Ground floor North-western side of the building	
Defect/Observation	<u>Cracked</u> The consultant is of the opinion that the cracking is consistent with shrinkage during the drying process and/or minor settlement.	
Extent	Localised	
Recommendation	The consultant recommends that the client undertakes regular maintenance (applying sealant to keep moisture from entering the crack and corroding the reinforcing steel) and continues to monitor the defect. Repairs may be necessary in the event the defect becomes more significant.	

Floors & Skirtings Defect/Observation

Element	Skirtings	 
Location	Broom cupboard Entry level Eastern side of the building	
Defect/Observation	Damp damage	
Extent	Widespread	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.	


Floors & Skirtings Defect/Observation

Element	Floorboards	
Location	Living Room/front entry	
Defect/Observation	<p><u>Termite Damage</u> <u>Sign of Damage</u> Visible damage to timber</p> <p>Note: Where evidence of termite damage is located within the building, it is possible that termites are still active in the concealed or inaccessible areas of the building and they may continue to cause further damage. A further more invasive inspection is recommended. For further advice consult a licensed pest controller.</p>	
Extent	Localised	
Recommendation	<p>This defect falls within the category of "Timber Pest Activity and/or Damage". It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay</p>	

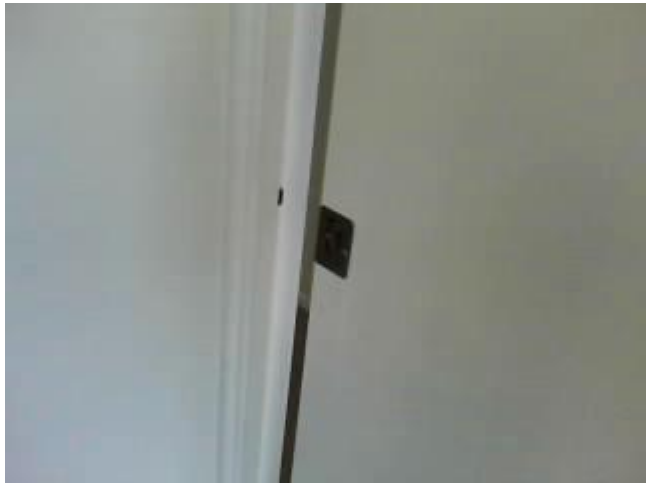
This section covers the exterior of Internal Doors including sliding glass doors if present.

Any doors that are locked or jammed may be concealing defects and/or timber pest activity which may only be revealed when the door can be inspected through its full range of movement. For further advice see Section D – Undetected Defect Assessment.


Internal Door Defect/Observation

Door	Door	
Location	Laundry, Entry level Western side of the building	
Element	Hinges	
Defect/Observation	Loose	
Extent	Localised	
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.	

Internal Door Defect/Observation

Door	Sliding door (in cavity)	
Location	Bathroom First floor Eastern side of the building	
Element	Lock	
Defect/Observation	Defective	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Internal Door Defect/Observation

Door	Door	
Location	WC	
Element	Hinges	
Defect/Observation	Do not lift off. Note: Toilet doors should be fitted with lift off hinges and adequate head clearance to allow the door to be removed.	
Extent	Localised	
Recommendation	Replace with lift off hinges as a matter of urgency.	


The Windows of the building were inspected from the floor level. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.

An inspection of the readily accessible parts of windows from the interior of the building was undertaken together with their frames, sills, architraves and reveals. However the consultant did not move or remove any obstructions such as fixed blinds and curtains, furniture, stored goods, fixed screens and grills, shelving, packing boxes, clothing and personal effects, etc.


Note: The early signs of termite activity are often detected by sounding (tapping) timber elements. This sounding is only possible where the window is not obstructed and there is enough room for the consultant to undertake the sounding process.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Internal Window Defect/Observation

Window	Sliding Windows	
Location	In general	
Element	Rollers or guides	
Defect/Observation	Worn	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Internal Window Defect/Observation

Window	Louver window	
Location	Ensuite Entry level	
Element	Glass	
Defect/Observation	Missing	
Extent	Localised	
Recommendation	Replace the missing element as soon as possible.	

Internal Window Defect/Observation

Window	Windows
Location	In general
Element	Flyscreens
Defect/Observation	Damaged
Extent	Localised



Recommendation

This defect should be addressed by a Licensed Tradesperson as soon as possible.

Built-in Fittings are all built in cupboards, vanities, shelving, etc.

An inspection of the readily accessible Built-in Fittings was undertaken. However the consultant did not move or remove any obstructions such as stored goods, furniture, clothing and personal effects, appliances, packing boxes, etc.

Note: The early signs of termite activity are often detected by sounding (tapping) and probing. This sounding is only possible where the Built-in Fittings are not obstructed and there is enough room for the consultant to undertake the sounding and probing process.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Built-in-Fittings Defect/Observation

Built-In-Fittings	Cupboards
Location	Laundry Ground floor
Element	Plastic catches
Defect/Observation	Broken
Extent	Localised
Recommendation	This defect requires replacement as soon as possible.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Built-in-fittings
Location	Bathroom, First floor South-western side of the building
Element	Worktop edge strip
Defect/Observation	<u>Damp</u> damage
Extent	Localised
Recommendation	This defect requires repair or replacement as soon as possible.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Built-in-fittings
Location	Kitchen, Ground floor Eastern side of the building
Element	Splashback
Defect/Observation	Poorly sealed
Extent	Localised
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed by resealing. The above recommendation should be implemented promptly.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Built-in-fittings
Location	Kitchen, Entry level Eastern side of the building
Element	Drawers
Defect/Observation	Poor workmanship
Extent	Localised
Recommendation	This defect requires replacement as soon as possible.



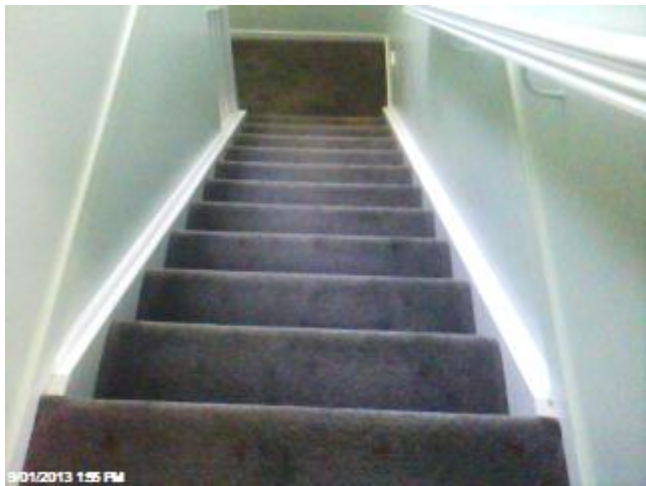
Other Internal Woodwork is any timber secondary or finishing elements not covered in the sections E6.1 to E6.8 above

An inspection of the readily accessible Internal Woodwork was undertaken. However the consultant did not move or remove any obstructions such as stored goods, furniture, clothing and personal effects, appliances, packing boxes, etc.

Note: The early signs of termite activity are often detected by sounding (tapping) and probing. This sounding is only possible where the Internal Woodwork is not obstructed and there is enough room for the consultant to undertake the sounding and probing process.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Woodwork Defect/Observation

Woodwork	Staircase	
Location	In general	
Element	Treads	
Defect/Observation	Creaky	
Extent	Localised	
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.	

Sanitary Fittings refers to the showers, baths, basins, water closets, bidets, etc. commonly found in toilets, bathrooms and ensuites.

The client should be aware that a typical bathroom will have a useful life considerably less than that of the home as a whole. It may often be necessary to renovate bathrooms and wet areas after 20 years and such renovations usually require replacement of the entire bathroom including wall sheeting, waterproofing and tiling. The consultant only reports on discernible major defects taking into account the age and type of bathroom or wet area. Wear and tear such as calcium deposits, staining, chips and minor cracking associated with age and use may not be reported on especially where the bathroom is nearing the end of its useful life.

It is important to maintain bathrooms and wet areas such as laundries regularly, any silicon sealing should be kept in good repair, and the areas should be kept well ventilated.

Tiles may become drummy, loose or cracked with time. Tiling and grouting, where present, provide the first level of waterproofing to direct surface water to a waste. Also, as falling sharp wall tiles can be a hazard, tiling should be regularly checked and any loose or drummy tiles replaced or refixed.

Bathrooms and showers are the most common area in a home to be effected by fungal decay and termite activity because the humidity and moisture present create conditions favourable to these timber pests. Keeping wet areas watertight and the house framing free of excessive moisture will assist in keeping your home free from damage. Because of the higher risk of termite activity around bathrooms, we recommend that vents be installed to bath enclosures and wall cavities behind showers to facilitate inspection.

The inspection of sanitary fittings is limited to visual inspection of visible surface condition. The consultant will also check behind tap flanges where possible (only where they can be easily unscrewed or retracted against a spring) and where the shower has a tiled base, test the shower base for leaks by temporarily obstructing the waste and filling the shower base to a depth of up to 10mm. The client should be aware that as the shower test only covers a short period, water leaks may not be revealed until the showers has been used for some period of time and surrounding areas checked for excessive moisture.

An inspection of the readily accessible parts of sanitary fittings was undertaken However the consultant did not move or remove any obstructions such as fixed blinds and curtains, furniture, stored goods, fixed screens, bathroom accessories, shelving, clothing and personal effects, etc. Also water proofing under tiling or other wet area floor and wall coverings cannot be inspected.

Such obstructions may be concealing defects and/or timber pest activity which may only be revealed via an invasive inspection. For further advice see Section D – Undetected Defect Assessment.

Sanitary Fixture Defect/Observation

Fixture	Tub
Location	Laundry
Element	Tub
Defect/Observation	Defective, not draining
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Plumber without delay.



Sanitary Fixture Defect/Observation

Fixture	Toilet
Location	WC Entry level Eastern side of the building
Element	Toilet flange gasket
Defect/Observation	Leaking
Extent	Localised
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Plumber is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.



Sanitary Fixture Defect/Observation

Fixture	Shower
Location	Bathroom Entry level Eastern side of the building
Element	Shower base
Defect/Observation	Poorly sealed
Extent	Localised
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed by resealing. The above recommendation should be implemented promptly.

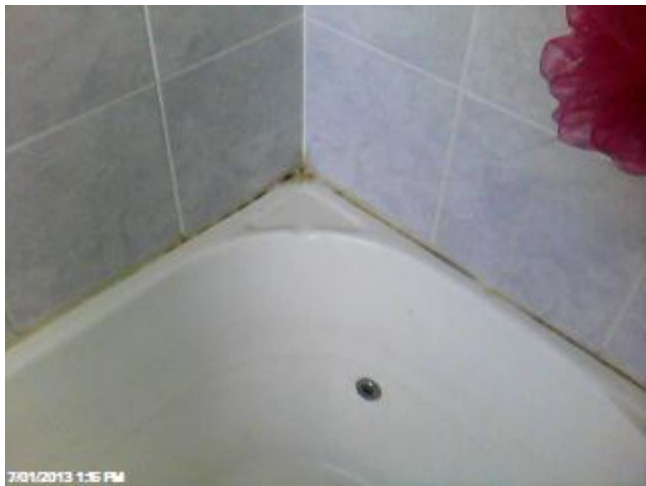


Sanitary Fixture Defect/Observation

Fixture	Shower
Location	Laundry Entry level Eastern side of the building
Element	Tap flange
Defect/Observation	Poorly sealed
Extent	Localised
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. The above recommendation should be implemented promptly.



Sanitary Fixture Defect/Observation

Fixture	Bath	
Location	Bathroom Upper level	
Element	Sealant	
Defect/Observation	Poorly sealed aged and stained	
Extent	Localised	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed by resealing. The above recommendation should be implemented promptly.	

Subfloor refers to any part of the structure which is below the lowest floor level. In a high set home this is the area under the dwelling. In a slab on ground home it is the concrete slab, its reinforcing steel and other components that form the foundation for the structure.

Subfloor voids under low set homes are not designed for easy access and contain many potential hazards. Anyone considering entering the subfloor of a low set home should only enter when they have assessed it is safe to do so. Safety hazards in subfloors include electrical shock, trip hazards, chemical hazards, dust hazards, impalement hazards, heat stroke, entrapment, etc.

If the Consultant was able to enter the subfloor, the inspection is often limited by, insufficient crawl space, stored goods, building materials, pipework, formwork, etc.

Any slab on ground home has a subfloor that is inaccessible.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Type of Sub floor Inspection

An inspection of readily accessible parts of the sub floor was made from within the sub floor. Probing tests were conducted.

High Set with Subfloor Space Built In

Your inspector has identified that the rooms in the subfloor of this building were constructed after the building was originally completed.

Whether or not the building complies with the provisions of any building Act, code, regulation(s) or by-laws is excluded from the scope of this report.

We therefore recommend that in addition to implementing recommendations associated with any specific defect identified in this report you ensure via appropriate searches that the following have been adequately addressed.

- 1) That the ground floor level is sufficiently higher than the finished ground level to prevent water ingress during heavy rain.
- 2) That the floor slab and the base of the walls have had a moisture barrier installed.
- 3) That any sub-floor retaining walls have been adequately waterproofed.
- 4) That the termite barrier and/or inspection zone been relocated to the ground level from its original position at the ant caps at the tops of the stumps or the strip barriers at the top of sub floor walls.
- 5) That the head height, ventilation, glazing, etc. codes were complied with.
- 6) That Toilets, Bathrooms, Laundries or Kitchens installed in the sub-floor area as part of any recent renovations to the property have had specific local certification and local authority approval.
- 7) Has the building work been approved by the local authority and certified.

Note: Many local authorities approved the subfloor area to be used as a utility area (laundry, garage etc.) but not as habitable rooms. You should ensure, via searches of local authority records, that the construction in the sub-floor has been approved and certified for its current use.

See <http://www.abis.com.au/news/building-under-highset-homes>

The client is warned that old or uncertified "built-in-under" extensions are associated with a very high incidence of termite and or water ingress problems.

Subfloor Space Defect/Observation

Area	Subfloor space to the main building
Location	In general
Element	Subfloor timber slats
Defect/Observation	<p>Earth-wood contact</p> <p>Note: Untreated or non-durable timbers in direct contact with the ground/soil produce a ready food source for termites. Also, susceptible timbers used in a hazardous environment are prone to fungal decay.</p>
Extent	Widespread
Recommendation	<p>This defect falls within the category of Conditions Conducive to Timber Pest Activity. It is strongly recommended that this condition be removed. The above recommendation should be implemented promptly.</p>



Subfloor Space Defect/Observation

Area	Subfloor space to the main building
Location	In general
Element	Stumps
Defect/Observation	Cracked
Extent	Localised



Recommendation

This defect falls within the category of "Structural Damage". It is strongly recommended that this defect be corrected. A further investigation by a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay.

Subfloor Space Defect/Observation

Area	Subfloor space to the main building
Location	Eastern sides of the building
Element	Stumps/sub walls and Floor framing
Defect/Observation	<p><u>Termite Activity</u> <u>Sign of Activity</u></p> <p>Subterranean termite workings including mudding, shelter tubes and damage to timber not in service.</p> <p>Note: Where evidence of termite activity is located within a building or within 50 m of any building (but no live termites were found), it is possible that termites are still active in the concealed or inaccessible areas of the building and they may continue to cause further damage. A further more invasive inspection is strongly recommended. For further advice contact a licensed pest controller.</p>
Extent	Widespread
Recommendation	<p>This defect falls within the category of “Timber Pest Activity and/or Damage”. It is strongly recommended that action be taken to manage timber pests and repair any damage. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay</p>



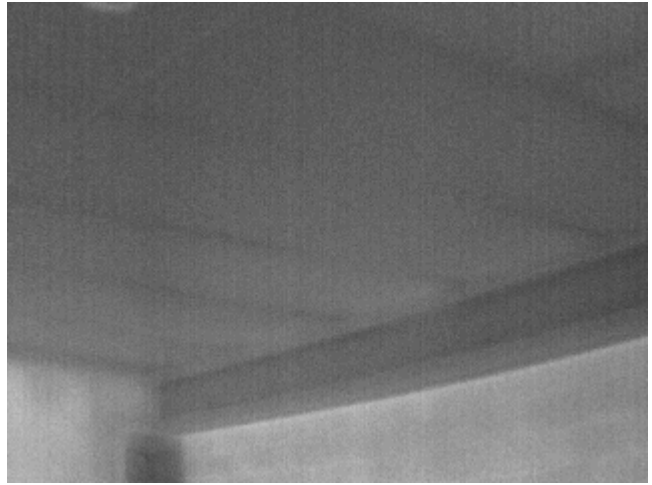
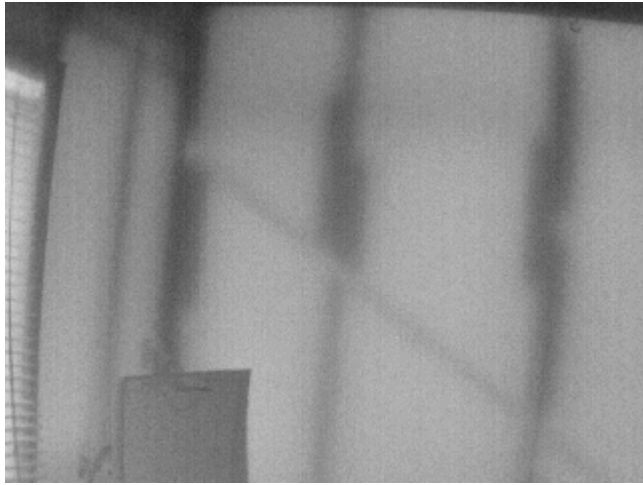
Subfloor Space Defect/Observation

Area	Subfloor space to the main building
Location	Eastern sides of the building
Element	<u>Joists</u> , Floorboards
Defect/Observation	<p><u>Termite Damage</u> <u>Sign of Damage</u> Visible damage to timber</p> <p>Note: Where evidence of termite damage is located within the building, it is possible that termites are still active in the concealed or inaccessible areas of the building and they may continue to cause further damage. A further more invasive inspection is recommended. For further advice consult a licensed pest controller.</p>
Extent	Undetermined
Recommendation	<p>This defect falls within the category of "Structural Damage". It is strongly recommended that this defect be corrected. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Builder is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay.</p>




Thermal Inspection – Sub-Floor



Where present, readily accessible sections of any subfloor walls were inspected using a thermal imaging camera. Any defects identified by this process are detailed above together with any relevant images. The following images are not defects and are provided to document the thermal environment existing at the time of the inspection. See <http://www.abis.com.au/thermal-imaging> for further information



Other Internal Detail Defect/Observation

Element	Towel rail	
Location	Bathroom Upper level	
Defect/Observation	Loose	
Extent	Localised	
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.	

Other Internal Detail Defect/Observation

Element	Ceiling downlights	
Location	Kitchen, Living Room	
Defect/Observation	2 Missing	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Electrician as soon as possible.	

Other Internal Detail Defect/Observation

Element	Electrical cables
Location	Sub Floor Western side of the building
Defect/Observation	Incomplete
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Electrician without delay.



SECTION F – Building Maintenance Responsibilities

To help protect against financial loss, it is strongly recommended that:

- a) Any defects identified in this inspection report be immediately controlled or rectified.
- b) Conditions conducive to structural damage and timber pest activity be immediately removed, rectified or monitored.

In our experience, the importance of removing conditions conducive has not been fully appreciated and as a consequence, structural damage and timber pest activity have resulted in subsequent loss.

It is also recommended that any high risk areas (e.g. where access was not gained or where areas were concealed by obstructions) be further investigated.

Importantly, Standard AS 4349.1 *Inspection of Buildings* recognises that a standard property report is not a warranty against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure.

In respect of timber pests, to help minimise the risk of any future loss, thorough regular inspections should undertaken at intervals not exceeding 12 months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack.

Following this inspection, the next inspection to help detect timber pest activity is recommended in **3 Months**

If you require further information on a risk management program, please do not hesitate to contact the ABIS Office on 07 3203 4888.

SECTION G – Complaints Procedure

Should you have any concerns with the inspection or report, then you should immediately contact ABIS on 07 3203 4888.

If your concerns cannot be resolved, then written Notice clearly outlining your claim must be delivered to our office at PO Box 2316 REDCLIFFE NORTH QLD 4020 within ten (10) working days of your initial contact with ABIS in relation to your concern.

You must also give us permission to visit the inspected property within twenty one (21) days of your letter of claim and provide ABIS with full access to the property for further investigation. ABIS will respond to your claim in writing within twenty one (21) days of this investigation.

Should you not be satisfied with our response, contact ABIS within twenty one (21) days of receiving it and we will refer the matter to a Mediator nominated by ABIS from the Institute of Arbitrators and Mediators of Australia. The cost of the Mediator will be borne equally by both parties.

If your claim is not settled by mediation then the claim will proceed to arbitration. The Institute of Arbitrators and Mediators of Australia will appoint an Arbitrator who will hear and resolve the dispute. The arbitration, subject to any directions of Arbitrator, will proceed in the following manner:

- 1) The parties must submit all written submissions and evidence to the Arbitrator within twenty one (21) days of the appointment of the Arbitrator; and
- 2) The arbitration will be held within twenty one (21) days of the Arbitrator receiving the written submissions.

The Arbitrator will make a decision determining the dispute or claim within twenty one (21) days of the final day of the arbitration. The Arbitrator may, as part of his determination, determine what costs, if any, each of the parties are to pay and the time by which the parties must be paid any settlement or costs. The decision of the Arbitrator is final and binding on both parties.

In the event you do not comply with the above Complaints Procedure and commence litigation against ABIS then you agree to fully indemnify ABIS against any awards, costs, legal fees and expenses incurred by ABIS in having your litigation set aside or adjourned to permit the foregoing Complaints Procedure to complete.

SECTION H – Definitions & Diagrams to Help You Understand This Report

Building Consultant means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

Building & Site (property reporting) means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

Building & Site (timber pest reporting) means the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees, tree stumps and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

Chemical Delignification means the breakdown of timber through chemical action.

Client means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

Conditions Conducive to Structural Damage means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

Conditions Conducive to Timber Pest Activity means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

Finishing Elements means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and linoleum.

Incomplete Construction means where the original construction and any alterations or additions to the building are not complete in the work synonymous with construction (but does not include building services).

Instrument Testing (timber pest reporting) means where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) *electronic moisture detecting meter* - an instrument used for assessing the moisture content of building elements;
- (b) *thermal imaging camera* – an instrument used to provide a thermal map of the heat energy radiated from visible surfaces to aid the detection of excessive moisture and termite activity;
- (c) *probing* - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) *sounding* - a technique where timber is tapped with a solid object.

Major Defect means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect means defect other than a Major Defect.

Primary Elements means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Readily Accessible Areas means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes:

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the areas is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

Secondary Elements means those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Serious Safety Hazard means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

Structural Damage means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements.
- (d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

Structure means the load bearing part of the building, comprising the Primary Elements.

Subterranean Termite Management Proposal means a written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

Tests (property reporting) means where appropriate the carrying out of tests using the following procedures and instruments:

- (a) Dampness Tests - additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.
- (b) Physical Tests - the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

Tests (timber pest reporting) means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack

by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity means telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection. The term "Timber Pest Activity" also includes timber pest damage i.e. noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

Timber Pest Detection Consultant means a person who meets the minimum recommended competency standard set out in Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports.

Timber Pests means one or more of the following wood destroying agents which attack timber in service and affect its structural properties:

- (a) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
- (b) Wood Borers - wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.
- (c) Termites - wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

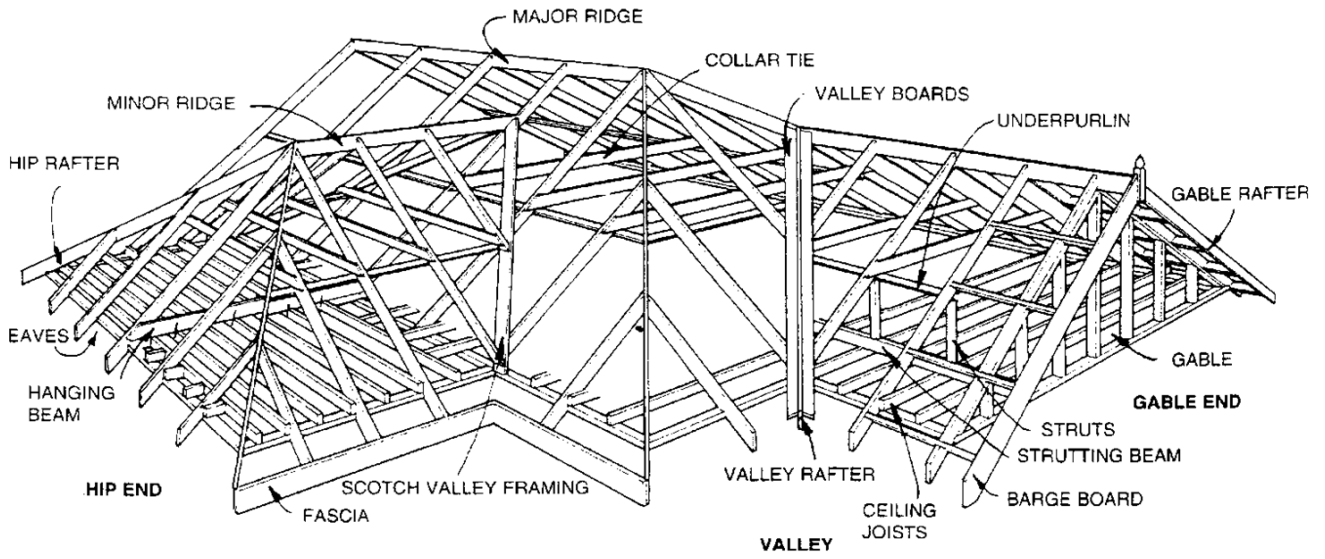


Figure 1 Roof

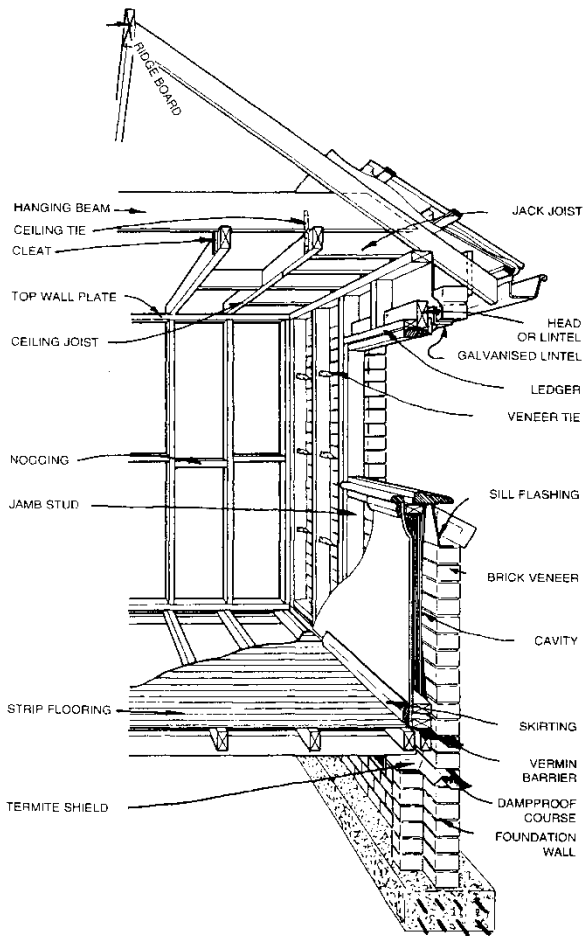


Figure 3 Brick veneer construction

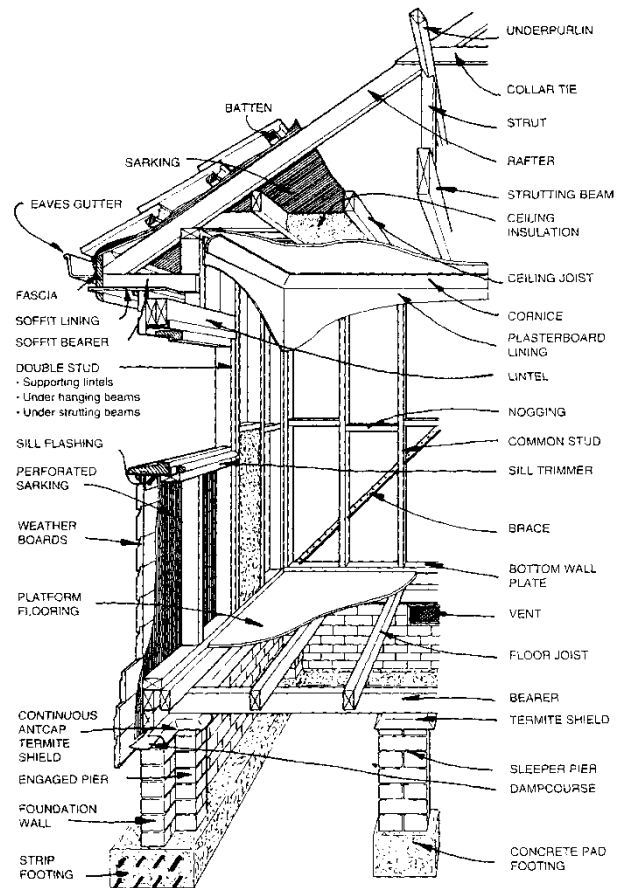


Figure 2 Timber framed construction

SECTION I – Terms On Which This Report Was Prepared

As requested and agreed with the Client, the inspection carried out by a qualified Building Consultant and Timber Pest Detection Consultant (“The Consultant”) is a combined Property Report & Timber Pest Report (“The Report”).

The Terms on which this Report was prepared are set out the following sub-sections:

- General Reporting Terms includes the terms that are applicable to the reporting on both property and timber pest matters and issues.
- Property Reporting Terms includes the terms that are specific to the reporting on property matters and issues.
- Timber Pest Reporting Terms includes the terms that are specific to the reporting on timber pest matters and issues.

I1 – General Reporting Terms

This Report is produced for the use of the Client. The Consultant or ABIS is not liable for any reliance placed on this Report by any other third party.

The Report is only a snap shot of the condition of the property at the time of inspection. This Report is not a warranty against problems developing with the property in the future.

Unless noted in “Special Conditions or Instructions”, this Report assumes that the existing use of the building will continue.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, furniture, clothes, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder’s debris, vegetation, pavements or earth.

In the case of strata and company title properties, the inspection was limited to the interior and immediate exterior of the nominated residence and does not include inspection of common property.

If the Client (or any other party that is entitled to rely on and use this Report) has any doubt about the Terms on which this Report was prepared, please discuss your concerns with the ABIS Office on 07 3203 4888 on receipt of the Report.

PURPOSE OF INSPECTION The purpose of this inspection carried out by a Building Consultant was to provide advice regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covered or dealt with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard noticed by the consultant at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

LIMITATIONS

The Client acknowledges:

1. This Report did not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
2. This Report did not include the inspection and assessment of items or matters that do not fall within the Building Consultant's direct expertise.
3. Australian Standard AS4349.0-2007 *Inspection of Buildings, Part 0: General Requirements* recognises that a property report is not a warranty or an insurance policy against problems developing with the building in the future.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) solving or providing costs for any rectification or repair work;
- (iii) the structural design or adequacy of any element of construction;
- (iv) the operation of fireplaces and chimneys;
- (v) any services or plant associated with services including building, engineering (electronic), fire and smoke detection, water, sewerage, electrical or mechanical;
- (vi) lighting or energy efficiency;
- (vii) any swimming pools and associated fencing or pool equipment or spa baths and spa equipment or the like;
- (viii) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (ix) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (x) a review of environmental or health or biological risks such as toxic mould;
- (xi) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (xiii) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified consultant.

PURPOSE OF INSPECTION The purpose of this inspection carried out by a Timber Pest Detection Consultant was to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

SCOPE OF INSPECTION This Report only dealt with the detection or non detection of Timber Pest Activity and Conditions Conducive to Timber Pest Activity discernable at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

ACCEPTANCE CRITERIA Unless noted in “Special Conditions or Instructions”, the building being inspected was compared with a similar building. To the Timber Pest Detection Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation.

LIMITATIONS

The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. As a delay may exist between the time of an attack and the appearance of telltale signs associated with the attack, it is possible that Timber Pest Activity including damage exists though not discernible at the time of inspection. No warranty as to the absence of Timber Pest Activity including damage is given.
3. The detection of drywood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified consultant.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal from a licensed pest control company which is adequately specified.