

Australian Building Inspection Services Pty Ltd

HANDOVER REPORT



Property Address **265 Example Lane, The Greater Brisbane Region
QLD 4000**

Report Number: **#####**

Inspection Date & Time: **Monday 01 January 2013 08:00 AM**

This document is partly based on Standards Australia Ltd copyrighted material that is distributed by SAI Global Ltd on Standards Australia Ltd's behalf. It may be reproduced and modified in accordance with the terms of SAI Global Ltd's Licence 1110-c028 to Report Systems Australia ('the Licensee').

TABLE OF CONTENTS

SECTION A – Results of Inspection – Summary	3
A1 – Property Report – Summary	3
SECTION B – Service Details	5
B1 – Pre–Engagement Inspection Agreement	5
B2 – Client Details	5
B3 – Special Conditions / Instructions	5
B4 – Consultant Details	6
SECTION C – General Property Data	7
C1 – General Description of the Property	8
SECTION D – Accessibility	9
D1 – Areas Inspected	9
D2 – Areas Not Inspected	9
D3 – Obstructions	9
D4 – Undetected Structural Damage & Timber Pest Risk Assessments	10
SECTION E – Property & Timber Pest Report	11
E1 – Terms on which this Report was prepared	11
E2 – Significant Items	11
E3 – Serious Safety Hazards	12
E4 – The Site	15
E5 – The Exterior	24
E6 – The Interior	50
SECTION F – Building Maintenance Responsibilities	77
SECTION H – Definitions & Diagrams to Help You Understand This Report	77
SECTION I – Terms On Which This Report Was Prepared	81
I1 – General Reporting Terms	81
I2 – Property Reporting Terms	81
I3 – Timber Pest Reporting Terms	83

If you have any queries with this report or require further information, please do not hesitate to contact the ABIS Office on 07 3203 4888.

This Report contains reference to material that is copyright Standards Australia. That content is reproduced with permission from SAI Global under copyright Licences 0803–c035 & 0905–c023.

SECTION A – Results of Inspection – Summary

Please read the Terms set out in **SECTION I – Terms On Which This Report Was Prepared** carefully before proceeding.

This Handover Report identifies defects and incomplete elements in the readily accessible areas of the building evident at the time of inspection. In identifying defects and incomplete elements the consultant compares the standard of finish and workmanship with prevailing acceptable industry standards. Most builders expect to address a number of minor defects at the end of the construction process and this report is intended to identify those defects.

The Handover Report does not deal with any contractual issues including whether or not the builder has used or installed a specific brand of tile, tap, appliance, etc. or has built the home to the contracted design.

The Handover Report does not deal with and certification or compliance issues.

This Summary is not the Report. The following Report **MUST** be read in full in conjunction with this Summary. If there is a discrepancy between the information provided in this Summary and that contained within the body of the Report, the information in the body of the Report shall override this Summary.

A1 – Property Report – Summary

The property is a detached slab-on-ground house

<u>In respect of significant items:</u>
Evidence of Serious Safety Hazards was not found.
Evidence of Structural Damage was not found.
Evidence of Timber Pest Activity was not found.
Evidence of Conditions Conducive to Structural Damage was found. See Section E for further details.
Evidence of Conditions Conducive to Timber Pest Activity was found. See Section E for further details.
Following this inspection, the next inspection to help detect timber pest activity is recommended in 3 Months

This consultant does not investigate what has caused the issues identified in this report and does not provide details of the method, extent or cost of any remedial work required. A further detailed investigation by a competent person is required if the client wishes to establish what has caused a defect, the options for and the extent of remedial work required and associated costs.

Unless stated otherwise, any recommendation or advice given in this Report should be implemented as a matter of urgency.

The consultant made best efforts using his training, experience to detect and report the presence or otherwise of termite activity and/or damage. However, the secretive and often hidden behaviour of termites is such that termites and termite damage may be present at the time of the inspection but not detected. The client therefore, should not read “Evidence of Timber Pest Activity was not found” as meaning “No termites were present at the time of the inspection”. Also, where conditions conducive to

timber pest activity are found there is a possibility that termite activity is either present but not discernible or not present at the time of the inspection but will occur in the near future.

As there may be building defects, termite, borer, or fungal decay activity in areas that were not readily accessible, a further inspection is strongly recommended of those areas that were not readily accessible and of inaccessible or obstructed areas once access has been provided or the obstruction removed. Also see, **D4 – Undetected Structural Damage & Timber Pest Risk Assessments.**

Important risk management information is set out in **SECTION F – Building Maintenance Responsibilities.** If you have any queries with this Report or require further information, please do not hesitate to contact the ABIS Office on 07 3203 4888.

SECTION B – Service Details

As requested and agreed with the Client, the inspection carried out by a qualified Building Consultant (“The Consultant”) is a Handover (“The Report”).

The Consultant provides an objective opinion about the condition of the property at the time of inspection.

B1 – Pre-Engagement Inspection Agreement

Agreement Number	#####
Date & Time of Agreement	01/01/2013

B2 – Client Details

Client Name	Handy Over
Client Address	PO Box 2316, Redcliffe North QLD 4020
Client Email Address	info@abis.com.au
Client Telephone Numbers	(W) 07 3203 4888 (H) (M) (F) 07 3284 2044

B3 – Special Conditions / Instructions

There are no special conditions or instructions.

B4 – Consultant Details

Consultant Name	ABIS Inspector
Consultant Licence Number (if applicable)	1009032
Company Name	Australian Building Inspection Services Pty Ltd
Company Address	PO Box 2316 REDCLIFFE NORTH QLD 4020
Company Email Address	info@abis.com.au
Company Telephone Number	07 3203 4888
Company Fax Number	07 3284 2044

IMPORTANT NOTES.

1. The Client (or any other party that is entitled to rely on and use this Report) is welcome to contact the ABIS Office on 07 3203 4888. Often it is very difficult to fully explain situations, problems, access restrictions, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this Report, then you should immediately contact the ABIS Office on 07 3203 4888 and have the matter explained.
2. If the Client (or any other party that is entitled to rely on and use this Report) has any questions or requires clarification, then you should contact the ABIS Office on 07 3203 4888 prior to acting on this Report.

SECTION C – General Property Data

The records of the appropriate local authority should be checked to determine or confirm:

- Whether the ground on which the building rests has been filled, is liable to subside, is subject to landslip or tidal inundation, or if it is flood prone;
- The status of the property and services (e.g. compliance of the building with the provisions of any building Act, code, regulation or by-laws); and
- Whether council has issued a building certificate or other notice for the dwelling.

In the case of strata and company title properties, as the inspection is limited to assessing the interior of a particular unit or lot, the client may have additional liability for defects or faults in the common property.

It would be prudent to conduct a search of the body corporate records and request details of any past building problems, maintenance history, programs and plans from the body corporate.

Where appropriate, legal advice (e.g. from a solicitor) should be sought to explain title and ownership matters and to deal with matters concerning, insurance, safety responsibilities, easements, covenants, restrictions, building code compliance, zoning certificates and all other law-related matters.

C1 – General Description of the Property

Building Type	The property is a detached slab-on-ground house
Number of Storeys	Two
Building Position on Site	Towards the middle of a small block
Site Gradient	Gently sloping
Site Access	Reasonable pedestrian and vehicular access
Prevailing Weather Conditions at the time of inspection	Damp after rain
Site Drainage	Appears adequately drained
Smoke Detectors	<p>Were fitted, but not tested</p> <p>IMPORTANT NOTE. The Consultant cannot comment on the installation/testing requirements of smoke detectors as this is a specialist safety critical task that is not within the scope of this inspection and report.</p> <p>It is strongly recommended that the Client obtains advice from a suitably qualified person to either install the adequate amount of smoke detectors and/or ensure existing smoke detectors are of the required type and are installed and maintained correctly.</p> <p>See Smoke Detectors FAQ</p>
Orientation Statement	<p>The Consultant may use points of the compass in this Report and this orientation statement is provided as a reference point for the location of an item within the building. It is not intended to be an accurate statement of the true orientation of the building.</p> <p>The façade of the building faces north.</p> <p>Please note that for the purpose of this Report the façade of the building contains the main entrance door.</p>
Safety Switch	The Consultant has not commented on the presence or otherwise of a safety switch as a qualified electrician is required to ensure that a safety switch is installed and working correctly on all circuits.
Other	

SECTION D – Accessibility

D1 – Areas Inspected

Unless noted in **B3 – Special Conditions / Instructions**, the inspection only covered the Readily Accessible Areas of the Building & Site.

Areas Included In The Scope Of The Inspection.	The Site. Lower Roofs Exterior. Building Exterior. Building Interior. Roof Space.
---	---

Note: Inspection of areas included in the scope of this inspection may be limited by obstructions and/or areas not being readily accessible including areas above 3.6 meters.

D2 – Areas Not Inspected

The inspection did not include areas, which were inaccessible, not readily accessible or obstructed at the time of inspection including areas above 3.6 meters. The Consultant did not move or remove any obstructions which may be concealing evidence of defects including but not limited to structural damage and timber pest activity. Areas which are not normally accessible or unsafe were not inspected. Evidence of defects in obstructed or concealed areas may only be revealed when the items are removed or access has been provided.

Details of any areas not inspected are noted in Section E at the beginning of sub-sections **E4.1 Site Areas Not Inspected**, **E5.1 External Areas Not inspected** and **E6.1 Interior Areas Not Inspected**.

D3 – Obstructions

Details of any obstructions are noted in Section E on an area by area basis.

D4 – Undetected Structural Damage & Timber Pest Risk Assessments

The inspection of a property is always limited in some degree due to access restrictions or obstructions.

As there are areas within the scope of the inspection that were not readily accessible there is, in the opinion of the consultant, a High risk that building defects, termites, borers and fungal decay or conditions that will lead to building defects, termites, borers, and fungal decay were present at the time of the inspection but not identified or reported on.

Therefore, a further inspection is strongly recommended of areas that were not readily accessible, inaccessible or obstructed once access has been provided or the obstruction removed. This may require the moving, lifting or removal of obstructions such as floor coverings, furniture, stored items foliage and insulation. In some instances, it may also require the removal of ceiling and wall linings, and the cutting of traps and access holes. For further advice contact the ABIS Office on 07 3203 4888.

Important Notes

Conditions conducive to timber pest activity (Termites, Borers and Fungal Decay), timber pest activity and damage associated with such activity may be present in areas that were hidden and or obstructed at the time of the inspection.

Conditions conducive to structural damage and structural damage may be present in areas that were hidden and or obstructed at the time of the inspection.

In the case of strata and company title properties, as the inspection is limited to assessing the interior of a particular unit or lot, it would be prudent to conduct a search of the body corporate records and request details of any termite management systems and past termite, borer or fungal decay problems from the body corporate.

SECTION E – Property & Timber Pest Report

E1 – Terms on which this Report was prepared

The terms on which this report was prepared including: the Purpose of Inspection; Scope of Inspection; Acceptance Criteria; Limitations; and Exclusions are set out in **SECTION I – Terms On Which This Report Was Prepared**.

Please read the Terms set out in SECTION I carefully before proceeding.

E2 – Significant Items

Defects and observations were reported on in accordance with the SCOPE OF INSPECTION see **I2 – Property Reporting Terms** and **I3 – Timber Pest Reporting Terms**.

Where evidence of conditions conducive to timber pest activity is present, timber pest activity **will** occur unless action is taken to prevent it.

Note: “conditions conducive to timber pest activity” include; a physical state, local temperature and humidity conditions, the presence of food or nesting materials, moisture, etc. that attract and promote termites, borers or fungal activity.

Where evidence of conditions conducive to structural damage is present, structural damage **will** occur unless action is taken to prevent it.

Note: “conditions conducive to structural damage” include; a physical state, excessive loads, corrosion, poor workmanship, inappropriate materials, damaged protective coatings and coverings, local temperature and humidity conditions, the presence of excessive moisture, defective plumbing, defective roof plumbing, defective or bridged damp-proof course, trees in proximity to the dwelling, poor subfloor ventilation, etc. A condition conducive is a condition that, with the passage of time, will lead to damage to structural elements.

E3 – Serious Safety Hazards


Evidence of any item or matter (within the Consultant's expertise) that may constitute a present or imminent serious safety hazard. Such hazards are noted out of a duty of care. This should not be viewed however, as an audit or exhaustive list of all safety issues relating to the property.

E3.1 Identified Hazards

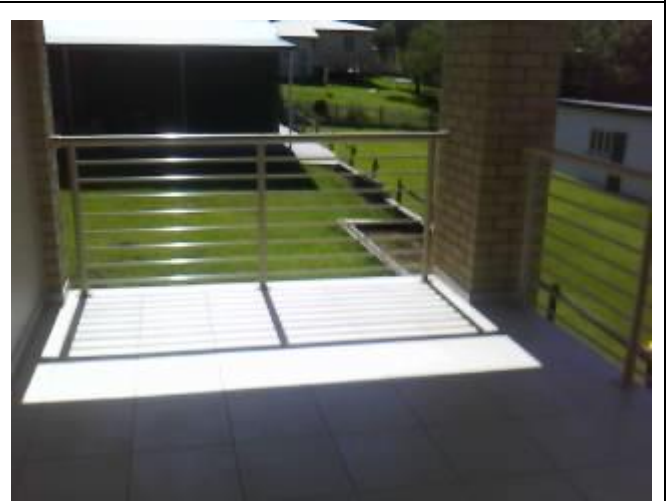
<u>Serious Safety Hazard</u>	
Description	Fall hazard.
Location	The grounds at the rear of the building
Recommendation	<p>This condition is considered potentially dangerous. A further investigation by a competent person is strongly recommended to determine the extent of remedial work required. The above recommendation should be implemented without delay</p> <p>Immediate action must be taken to ensure that anyone entering the area is warned of this hazard.</p>




Serious Safety Hazard

Description	LPG gas cylinders have not be adequately restrained in accordance with AS5601.1. If cylinders are knocked or blown over gas line may rupture releasing gas..	
Recommendation	<p>This condition is considered potentially dangerous. A further investigation by a licensed gasfitter is strongly recommended to secure the cylinders. The above recommendation should be implemented as a matter of urgency</p> <p>Immediate action must be taken to ensure that anyone entering the area is warned of this hazard.</p>	

Serious Safety Hazard

Description	Part of the platform or stair is more than 4 meters from the ground and the balustrade climbable. .	
Location	The balcony at the rear of the building	
Recommendation	<p>This condition is considered very dangerous. A further investigation by a licensed building contractor is strongly recommended to modify the balustrade to render it non climbable. The above recommendation should be implemented as a matter of urgency</p> <p>Immediate action must be taken to ensure that anyone entering the area is warned of this hazard.</p>	

Serious Safety Hazard

Description	A fall risk exists in the roof void as insulation wholly or partially covers ceiling joists and other framing members. In this situation it is not possible to ensure that the weight of a person can be supported. .	
Location	The roof space in general	
Recommendation	This condition is considered dangerous. A further investigation by a competent person is strongly recommended to determine the extent of remedial work required. The above recommendation should be implemented as a matter of urgency.	

E3.2 Potential Service Hazards

No service hazards were detected

E3.3 Safety Warnings

Most dwellings contain safety critical elements for example: structural fastenings, suspended floors, balconies, decks, stairs and balustrades. As failure of a safety critical element may result in serious injury or death it is strongly recommended that any safety critical elements in a dwelling be inspected annually.

This report is not an audit of safety and the client is warned that hazards and risks to safety may be present now or in the future that are not covered by this report. For their own safety and as a duty of care to others all home owners must ensure safety hazards on their properties are eliminated. To assist the home owner in identifying and removing safety hazards the consultant recommends the home owner has an annual safety audit conducted by a safety specialist and/ or an annual structural safety inspection conducted by a suitably qualified structural engineer.

Suspended floors, decks, balconies and stairs in older homes may have employed joinery techniques that are inherently prone to catastrophic failure with the potential to cause serious injury or death. As the types of joint are often hidden or difficult to identify it is recommended that timber homes constructed prior to 1940 be subject to a special purpose inspection to identify at structures at risk and to recommend modifications to mitigate such risks. This report should not be relied upon to identify hidden or latent defects." ""

E4 – The Site

E4.1 Site Areas Not Inspected

This section details any site areas that couldn't be accessed and were not included in the inspection.

All the normally accessible areas permitted entry

E4.2 Site Structures

Site structures are free standing pergolas, green houses and the like, that are not part of the main building being inspected.

An inspection of the readily accessible areas of site structures was undertaken however, the consultant did not move or remove any obstructions such vegetation, stored items, etc.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Yard Structure Defect/Observation

Area	Exterior Of The Detached Garage
Location	Western Side Of The Structure
Element	Downpipe
Defect/Observation	Discharging near footings. All drainage should be connected to a storm water drain or directed well away from footings.
Extent	Localised
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Plumber is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.



Site Walls & Fences are the boundary walls and fences and other walls and fences within the yard area.

An inspection of the readily accessible areas of site walls and fences was undertaken. However the consultant did not move or remove any obstructions such as vegetation, structures, built on alignment, stored materials and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Site Walls & Fence Defect/Observation

Structure	Boundary fence
Location	In General
Element	Palings
Defect/Observation	<p>Earth-wood contact</p> <p>Note: Untreated or non-durable timbers in direct contact with the ground/soil produce a ready food source for termites. Also, susceptible timbers used in a hazardous environment are prone to fungal decay.</p>
Extent	Widespread
Recommendation	<p>This defect falls within the category of Conditions Conducive to Timber Pest Activity. It is strongly recommended that this condition be removed by either lowering the ground level or removing 30mm from the bottom of the palings. A further investigation by a Fencing specialist is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay.</p>



Site Walls & Fence Defect/Observation

Structure	Boundary fence
Location	Eastern Side Of The Property
Element	All fence elements
Defect/Observation	Dilapidated The boundary fence is in a general state of dilapidation and is at the end of its useful life
Extent	Widespread
Recommendation	This fence requires replacement as soon as possible.



Site Walls & Fence Defect/Observation

Structure	Retaining wall
Location	Southern Side Of The Property
Element	All retaining wall elements
Defect/Observation	Missing
Extent	Widespread
Recommendation	Replace the missing element as soon as possible.



Grounds Defect/Observation

Area	Surface Drainage
Location	In general
Element	Finished Ground Level
Defect/Observation	Incomplete
Extent	Widespread
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



This section covers the ground area around the property

An inspection of the readily accessible areas of the ground area around the dwelling was undertaken. However the consultant did not move or remove any obstructions such as vegetation, structures, motor vehicles, stored materials and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Important Information on Trees & Shrubs (Applies to all homes with a yard or grounds)

The roots of trees and shrubs can affect footings by removing moisture from clay soils immediately underneath the building causing subsidence as the clay shrinks.

In its search for water, a tree root system can spread a lateral distance equal to the height of the tree. If in rows or grouped with other trees, the roots may spread up to twice the height of the tree.

Care should be taken when selecting trees and, as a guide, the trees listed should not be planted within the distance of their mature height from the building depending on the site classification and whether they are to be planted in a line or in a group.

Height of Tree(h) Distance from house (d)

$d = 1 h$ for class H and M sites.

$d = 1.5 h$ for class E sites.

$d = 2 h$ for rows or groups of trees.

[A simple how to Guide to Preventing Structural Damage](#)

APPROXIMATE TREE HEIGHTS


10 to 20m	20 to 30m	30m to 60m
Acacias	But-But	Blue Gum
Ash	Cedars	Cypress
Athel Tree	English Oak	English Elm
Candlebark	Lemon Gum	Figs
Manna Gum	Palms	Karri
Pepper Tree	Planes	Pines
Willows	Sheoaks	Poplars
Yate	Silky Oak	River Gum
Yellow Gum	Spotted Gum	Sugar Gum

Tree roots in proximity to a dwelling can also provide conditions conducive to the ingress of termites and termite activity.

Grounds Defects

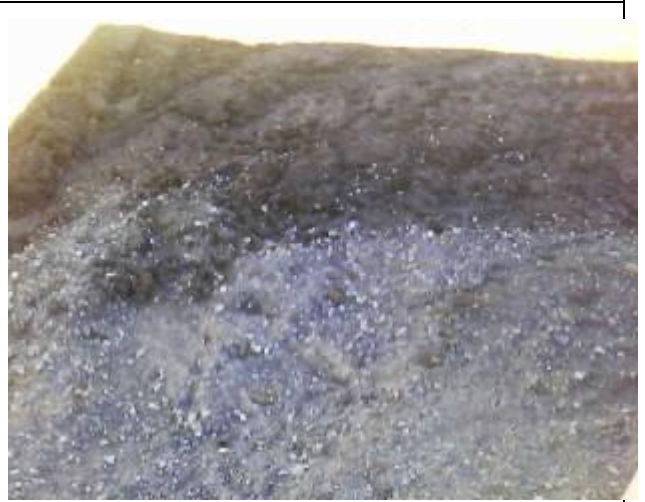
No evidence was found.

Grounds Defect/Observation

Area	Pathway	
Location	Southern side of the property	
Element	Concrete	
Defect/Observation	Inadequate Slope away from building (water ponding next to building)	
Extent	Localised	
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Tradesperson is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented as soon as possible.	

Grounds Defect/Observation

Area	Yard
Location	South-eastern side of the property
Element	Ground Around The Building
Defect/ Observation	<p>Poorly <u>Drained</u></p> <p>Poor drainage leads to excessive moisture being retained in the soil which over time can destabilise the foundations and promote timber pest activity such as fungal decay and termites.</p> <p>Drainage problems are often only discernible during wet periods.</p> <p>Note: The effect of poor drainage on foundations is often dependent on the soil type. Establishing soil type is beyond the scope of a standard pre-purchase inspection.</p> <p>Also, timbers pest activity including termites and fungal decay are commonly associated with poor drainage.</p> <p>Generally, to ensure that water drains away from the footings, the profile of the ground adjacent to the building should slope away from the base of the exterior walls and all stormwater drainage should be maintained in good condition and free from blockage.</p>
Extent	Widespread
Recommendation	<p>This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) and a Licensed Plumber & Drainer is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented promptly.</p>



Termite Management Programme

Documentation	<p>No termite management documentation available at the time of inspection.</p> <p>A Subterranean Termite Management Proposal is recommended in accordance with Australian Standard AS 3660.2 to treat a known infestation and/or help manage the risk of concealed subterranean termite access to building and structures. The Client should contact a licensed pest control operator in respect to obtaining a proposal without delay.</p>
Evidence	<p>Durable notice in electrical meter box indicating the possible installation of a termite barrier system</p> <p>Note: All relevant documents pertaining to the installation of any previous termite barrier system should be obtained by the building owner and keep on file including, any service warranties and advice in regard to the building owner's obligation to maintain the system. However, subterranean termites can bridge or breach barrier systems and thorough regular inspections of the building are necessary. If evidence of a previous treatment of termite infestation is found, and appropriate documentation is not available, it must be assumed that the termite infestation may still be active in areas of the property not inspected. Accordingly, a re-treatment may be required.</p>

E5 – The Exterior

E5.1 External Areas Not inspected

This section details any external areas that couldn't be accessed and were not included in the inspection.

All the normally accessible areas permitted entry.

E5.2 Roof Coverings

Roof coverings are the roof tiles, roof sheeting, and the like together with their fastenings, capping and flashings.

The roof covering is the primary barrier in preventing rain water entering a building and damaging its structure and contents. Regular maintenance of the roof is very important and should be carried out regularly by all home owners.

An inspection of the readily accessible areas of the roof was undertaken. However the consultant did not move or remove any obstructions such as vegetation, water heaters, solar panels, pool heaters and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Type of Roof Covering Inspection

An inspection of visible parts of the lower roofs covering only was made from a ladder. No tests were undertaken.

Roof Covering Description

Structure	The roof to the main building.
Description	Roll Formed Metal Sheeting.

Roof Covering Defect/Observation

Structure	Patio Roof.
Area Affected	In general
Element	Roof sheeting and Eaves gutters
Defect/Observation	Excess building debris
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.


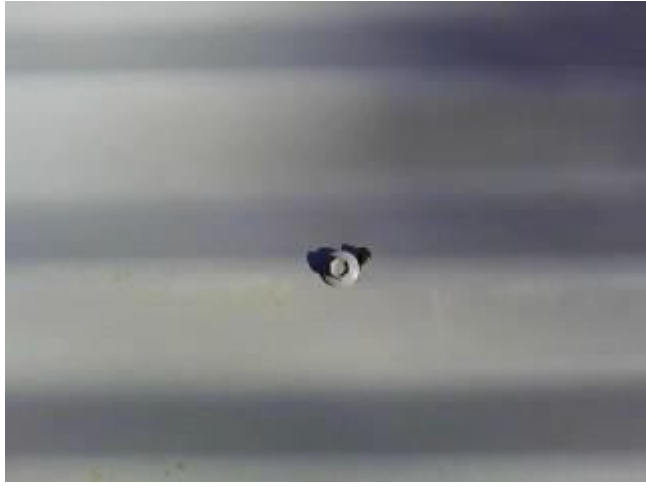


Roof Covering Defect/Observation

Structure	The roof to the garage.
Area Affected	At the rear of the building
Element	Flashing
Defect/Observation	Poor workmanship out of level
Extent	Localised
Recommendation	This defect requires repair or replacement as soon as possible.



Roof Covering Defect/Observation

Structure	The roof to the main building.	
Area Affected	In general	
Element	Fastenings	
Defect/Observation	The rubber seals to roofing screws are damaged.	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Roof Covering Defect/Observation

Structure	The lower roof to the main building.
Area Affected	On the north-eastern side of the patio
Element	Roof sheeting/ Fastening
Defect/Observation	Screw fixing through the bottom corrugation of the roof sheet.
Extent	Localised
Recommendation	The consultant recommends that the client undertakes regular maintenance and continues to monitor the defect. Repairs may be necessary in the event the defect becomes more significant.



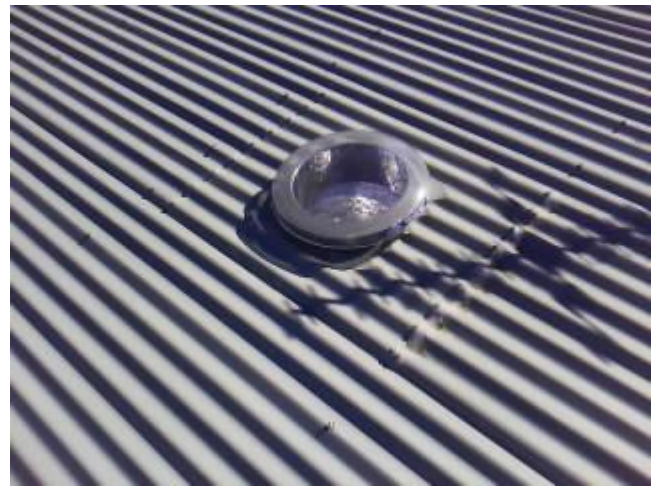
External Wall Defect/Observation

External Wall	External wall to the main building
Location	In general
Element	Weephole
Element Type	Non-loadbearing
Defect/Observation	Filled with Mortar and/or render
Extent	Widespread
Recommendation	This defect should be addressed by a Licensed Tradesperson promptly.





Roof Covering Defect/Observation

Structure	The upper roof to the main building.
Area Affected	In general
Element	Flashings
Defect/Observation	Skylight poorly fitted Vent pipe flashing holding water
Extent	Localised
Recommendation	The consultant recommends that the client undertakes regular maintenance and continues to monitor the defect. Repairs may be necessary in the event the defect becomes more significant.



Roof Covering Defect/Observation

Structure	The lower roof to the main building.	
Area Affected	On the western side of the building	
Element	Downpipe spreaders	
Defect/Observation	Pipes not half capped on the ends to control flow. One not painted.	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

External wall can be categorised into Loadbearing and Non-loadbearing. A concrete block construction for example is load bearing and the blocks and mortar are designed to support the roof loads and resist wind forces whereas in a brick- veneer construction the brickwork provides no supporting function and is installed for aesthetics and to keep the weather away from the structural timber or steel frame that supports the roof.

The External Walls of the building were inspected from the ground level. Tests (moisture, probing, sounding etc.) were not carried out on any areas above 3.6 meters.

Note: Where additions such as shade structures or pergolas are to be installed. They should not be attached to external walls without due consideration to the walls ability to carry the loads being added.

An inspection of the readily accessible areas of exterior walls and fences was undertaken. However the consultant did not move or remove any obstructions such as vegetation, structures, water tanks, built on alignment, window awnings, paving, gas bottles, hot water systems, AC units, stored materials and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

External Walls Description

Structure	External wall to the main building
Wall Construction	Timber framed
External Cladding	Fibre-cement weatherboards and sheeting
Wall Finish	Painted

External Wall Defect/Observation

External Wall	External wall to the main building
Location	South-eastern side of the building
Element	Wall sheeting
Element Type	Non-loadbearing
Defect/Observation	Popped fixing
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



External Wall Defect/Observation

External Wall	Slab edge exposure
Location	South-western side of the building
Element	Concrete
Element Type	Loadbearing
Defect/Observation	Rough finish
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



External Wall Defect/Observation

External Wall	External wall to the main building
Location	In general
Element	Render
Element Type	Non-loadbearing
Defect/Observation	Poor workmanship (trowel marks, lumps and dents)
Extent	Widespread
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



External Wall Defect/Observation

External Wall	External wall to the main building
Location	South-western side of the building
Element	Render (gap where render meets fascia)
Element Type	Non-loadbearing
Defect/Observation	Poor workmanship
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



External Wall Defect/Observation

External Wall	External wall to the main building
Location	In general
Element	Control joint
Element Type	Non-loadbearing
Defect/Observation	Not filled with flexible sealant
Extent	Undetermined
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



External Wall Defect/Observation

External Wall	External wall to the main building
Location	North-western side of the building
Element	Flashing (vertical)
Element Type	Non-loadbearing
Defect/Observation	Damaged
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



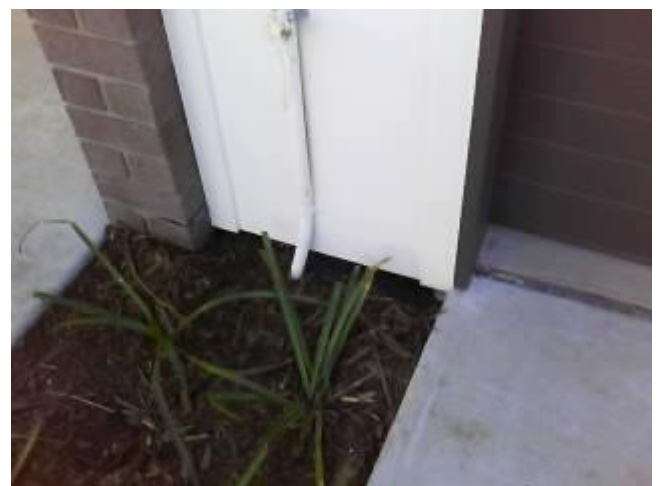
External Wall Defect/Observation

External Wall	External wall
Location	North-western side of the building
Element	Construction joint between wall and door frame.
Element Type	Non-loadbearing
Defect/Observation	Incomplete
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



External Wall Defect/Observation

External Wall	External walls
Location	Patio, North-western side and adjacent garage door opening of the building
Element	Termite Inspection Zone
Element Type	Non-loadbearing
Defect/Observation	Obstructed
Extent	Localised



Recommendation

This defect falls within the category of Conditions Conducive to Timber Pest Activity. A further investigation by a Licensed Pest Controller (Timber Pest Specialist) is also recommended to determine the extent of work required and associated costs. The above recommendation should be implemented without delay.




The exterior of External Windows of the building were inspected from the ground level. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.

An inspection of the readily accessible exterior of external windows was undertaken. However the consultant did not move or remove any obstructions such as vegetation and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

External Window Defect/Observation

Location	Hallway window Ground floor Western side of the building	
Element	<u>Sill</u>	
Defect/Observation	Flat sill, Holding water	
Extent	Localised	
Recommendation	The consultant recommends that the client undertakes regular maintenance and continues to monitor the defect. Repairs may be necessary in the event the defect becomes more significant.	

This section covers the exterior of External Doors including sliding glass doors if present.

Any doors that are locked or jammed may be concealing defects and/or timber pest activity which may only be revealed when the door can be inspected through its full range of movement. For further advice see Section D – Undetected Defect Assessment.

External Door Defect/Observation

Doors	Garage door
Location	North-eastern side of the building
Element	Head flashing
Defect/Observation	Not installed
Extent	Localised
Recommendation	The consultant recommends that the client undertakes regular maintenance and continues to monitor the defect. Repairs may be necessary in the event the defect becomes more significant.



External Door Defect/Observation

Doors	Front door
Location	Northern side of the building
Element	Door furniture
Defect/Observation	Incomplete
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Rainwater Pipes & Gutters are roof plumbing or rain water goods that include eaves gutters, down pipes, spreaders, flashing, spouts, collectors and the like.

Together with the roof covering rainwater goods collect and direct rainwater away from the dwelling reducing the risk of rain water entering a building and damaging its foundations, structure and contents.


Regular maintenance of the rainwater goods especially keeping gutters free of leaves is very important and should be carried out regularly by all home owners.

The limitations on the inspection that applied to the sections above covering roof coverings and external walls also apply to this section including the roof covering inspection type.

Rainwater Goods Defects

No evidence was found.

Rainwater Goods Defect/Observation

Location	Main building Southern side of the building Above rear garage door)	
Element	Gutter	
Defect/Observation	Poor workmanship (gutter not sitting level)	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

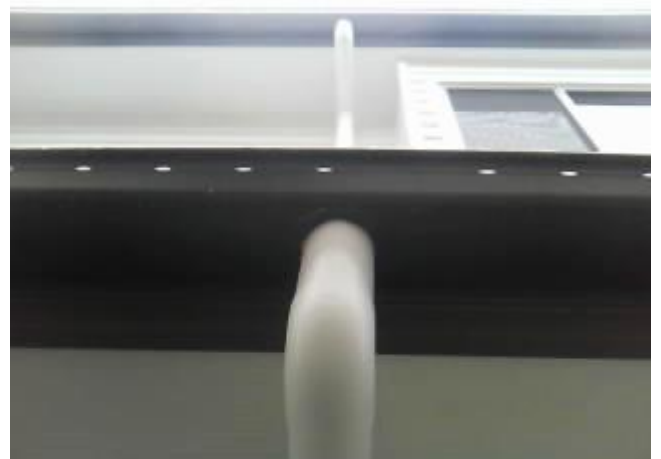
Rainwater Goods Defect/Observation

Location	Main building Southern side of the building
Element	Eaves Gutter
Defect/Observation	Not cleaned out, debris in gutter
Extent	Widespread
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Rainwater Goods Defect/Observation

Location	Main building Northern side of the building
Element	Eaves Gutter (adjacent to centre downpipe)
Defect/Observation	Dented and/or deformation
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



External Stairs are stairs outside the external walls of the building that typically run from the ground level to a landing or raised deck at the first floor level.

Stairs are a safety critical element and in the interest of safety, current building codes have promoted greatly improved stair design and construction in recent years.

Whilst not a legislative requirement, the prudent owner should consider bringing older stairs up to the standards of the current building codes.

As failure of a safety critical element may result in serious injury or death it is strongly recommended that stairs to a dwelling be inspected annually.

External Stairs Inspection Not Applicable

No external stairs to inspect.

External Platforms is a generic expression to cover all decks, patios, balconies, verandahs etc external to be attached to the exterior walls of the dwelling.

External Platforms are safety critical elements.

Whilst not a legislative requirement, the prudent owner should consider bringing any older balustrades up to the standards of the current building codes.

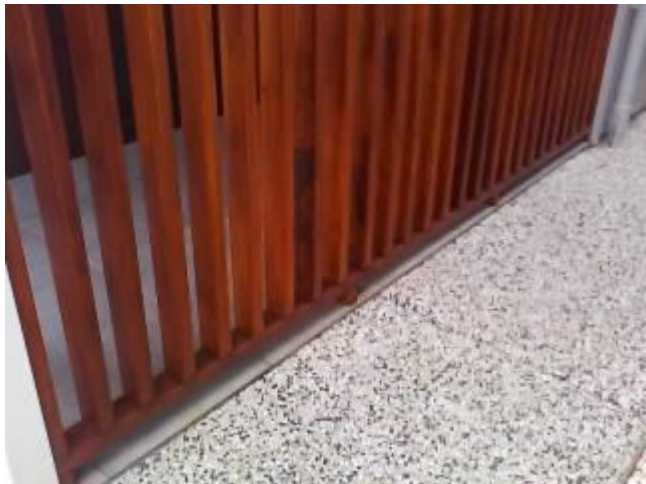
As failure of a safety critical element may result in serious injury or death it is strongly recommended that any external platforms to the dwelling be inspected annually.

Any External Platforms to the building were inspected from the ground level and from on the platform. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.

An inspection of the readily accessible External Platforms was undertaken. However the consultant did not move or remove any obstructions such as vegetation, coverings, stored goods, ceilings and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

External Platform Defect/Observation

Location	Front entry North-western side of the building	
Element	Floor tiles	
Defect/Observation	Timber stain	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

External Platform Defect/Observation

Location	Front entry and rear Patio
Element	Floor tiles/control joints
Defect/Observation	Not sealed
Extent	Localised

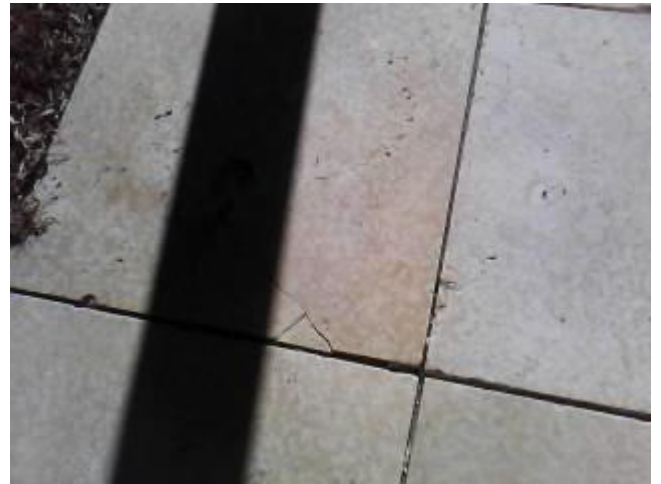


Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.
-----------------------	---



External Platform Defect/Observation

Location	Patio North-western side of the building
Element	Tiles
Defect/Observation	Cracked
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Other External Primary Elements are structural elements that are not included in the other external section above and include items such as eaves linings of soffits, barge boards, vent pipes, flashing, water heaters, AC Units conduit and the like.

The exterior of the building were inspected from the ground level. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.

An inspection of the readily accessible exterior areas was undertaken. However the consultant did not move or remove any obstructions such as vegetation and the like and did not enter neighbouring properties.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Other External Primary Element Defects

No evidence was found.


Other External Secondary & Finishing Elements are non-structural elements that are not included in the other external section above and include items such as eaves linings of soffits, barge boards, vent pipes, flashing, water heaters, AC Units conduit and the like.




The exterior of the building were inspected from the ground level. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.

An inspection of the readily accessible exterior areas was undertaken. However the consultant did not move or remove any obstructions such as vegetation and the like and did not enter neighbouring properties.


Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Other External Secondary & Finishing Element Defect/Observation


Location	Steel columns at front entry and rear patio, downpipes at rear patio and western side, external walls on the western side.	
Element	Paintwork	
Defect/Observation	Scuffed, patchy, incomplete	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	


Other External Secondary & Finishing Element Defect/Observation

Location	Western side of the building	
Element	Letterbox	
Defect/Observation	Difficult and/or unable to unlock	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Other External Secondary & Finishing Element Defect/Observation

Location	South-western side of the building	
Element	Side gate	
Defect/Observation	Binding	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Other External Secondary & Finishing Element Defect/Observation

Location	North-western side of the building	
Element	Electrical and/or data cable	
Defect/Observation	Incomplete	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

E6 – The Interior

E6.1 Interior Areas Not Inspected

All the normally accessible areas permitted entry.

E6.2 Roof Space & Roof Frame

Roof Space & Roof Frame refers to house designs that have a pitched roof and a readily accessible void under the roof covering and above the ceiling of the rooms below. Some roof designs such as flat, skillion and cathedral do not have roof voids and are not inspected.

Roof voids are not designed for to be traversed and contain many potential hazards. Anyone considering entering a roof void must only enter when they have assessed it is safe to do so. Safety hazards in roof voids include falling, electrical shock, trip hazards, chemical hazards, dust hazards, impalement hazards, heat stroke, and the like.

If the Consultant was able to enter the roof void, the inspection is often limited by, insulation, sarking, insufficient crawl space, low pitch at the eaves, air-conditioning units and ducting, water heaters, stored goods, etc.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Roof Structure Description

Structure	The roof to the main building
Description	Softwood timber trusses

Type of Roof Void Inspection

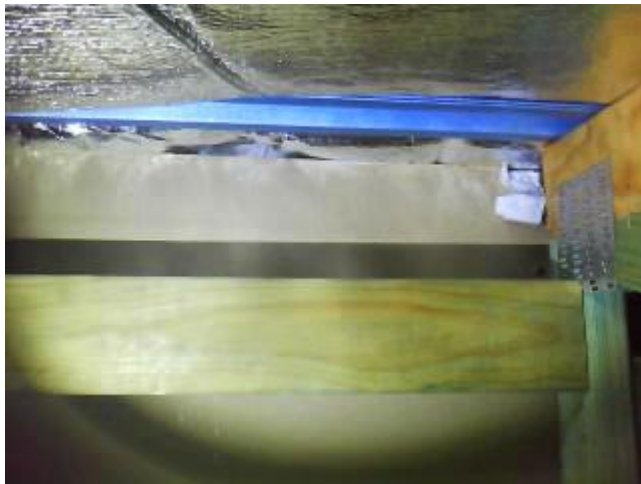
An inspection of visible parts of the roof void was made from a ladder at the access hole. No tests were undertaken.

Roof Space Defects

No evidence was found.

Roof Space Defect/Observation

Structure	The roof to the main building
Area Affected	The area on the eastern side
Element	<u>Fire Separation Wall</u>
Observation	Plasterboard joints and screw heads not sealed. Space between top of wall and roof cover does not appear to be sealed/packed with an appropriate rockwool or mineral fibre wool.
Extent	Widespread
Recommendation	It should be confirmed with the builder or building certifier that the fire separation wall has been installed in accordance with the building codes requirements and the approved construction plans.



Cornice is the moulding or finishing element covering the intersection between the vertical wall and the horizontal Ceiling.

Ceilings are formed by sheets or boards attached to battens which are in turn attached to ceiling joists or the bottom cords of roof trusses. In newer constructions the ceiling may be attached directly to the bottom cords of trusses.

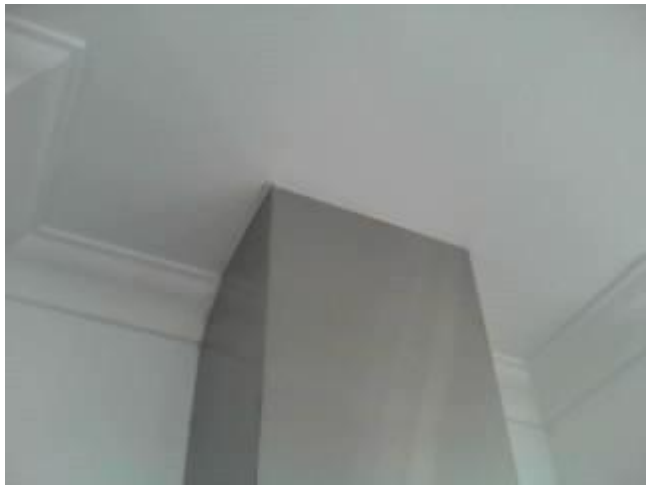
An inspection of the readily accessible Ceilings & Cornice was undertaken. However the consultant did not move or remove any obstructions such as built-in fixtures and fittings or stored goods.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.


Ceiling & Cornice Defects

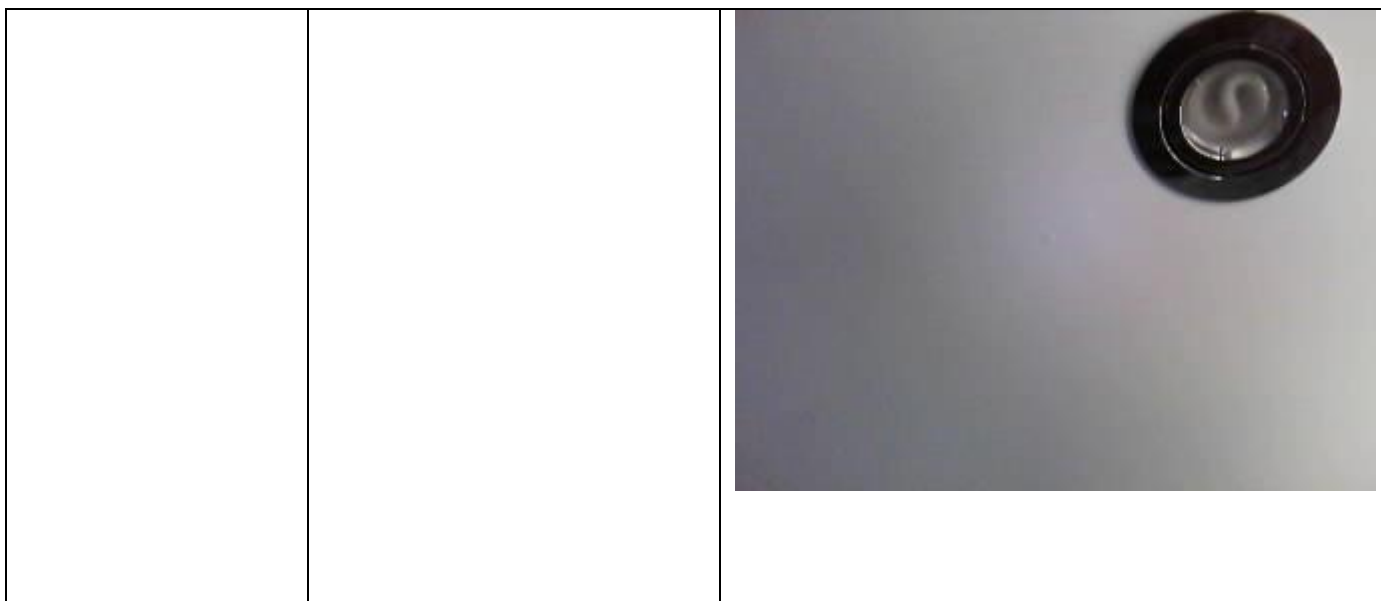
No evidence was found.

Ceiling & Cornice Defect/Observation

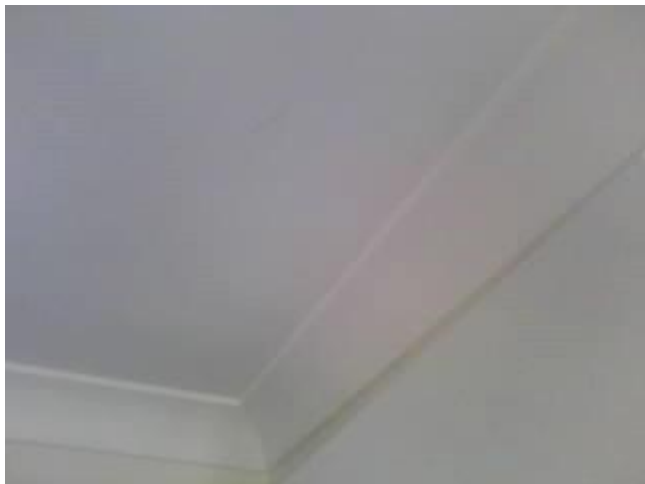
Element	Ceiling & Cornice	
Location	Kitchen, First floor	
Defect/Observation	Poorly finished around exhaust vent	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Ceiling & Cornice Defect/Observation

Element	Ceilings	
Location	In general throughout	
Defect/Observation	Impact/scratch marks around downlights	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	



Ceiling & Cornice Defect/Observation

Element	Ceiling	
Location	Front entry	
Defect/Observation	Scratch mark	
Extent	Localised	
Recommendation	<p>This defect should be addressed by a Licensed Tradesperson as soon as possible.</p>	

Internal Walls are both the interior surface of the perimeter loadbearing walls of the building and internal partition walls that may be loadbearing or non-loadbearing.

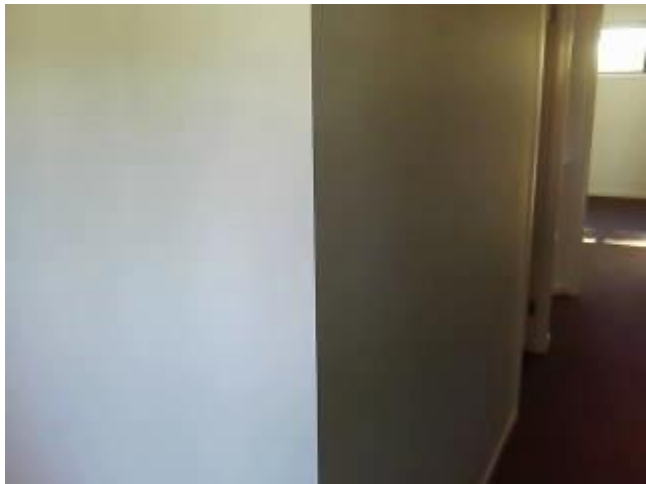
An inspection of the readily accessible Internal Walls was undertaken. However the consultant did not move or remove any obstructions such as built-in fixtures and fittings, stored goods, wall coverings, wall linings, furniture, wall hangings, pictures, clothing and personal effects, appliances, packing boxes, etc.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Internal Wall Defects

No evidence was found.

Internal Wall Defect/Observation

Location	Hallway First floor Southern side of the building	
Element	External corner	
Defect/Observation	Scuff marks	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Internal Wall Defect/Observation

Location	Bathroom First floor Eastern side of the building
Element	Wall tiling
Defect/Observation	Patchy paintwork
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.




Internal Wall Defect/Observation


Location	Bathroom and ensuite First floor Eastern side of the building
Element	Wall linings adjacent vanity unit draws
Defect/Observation	Not painted
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Internal Wall Defect/Observation

Location	Ensuite First floor North-eastern side of the building	
Element	Wall lining	
Defect/Observation	Patchy marks in paintwork	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Internal Wall Defect/Observation

Location	Family Room (adjacent to toilet) Ground floor South-western side of the building	
Element	Paintwork	
Defect/Observation	Discoloration	
Extent	Localised	
Recommendation	Repainting is required.	


Skirtings are the mouldings or finishing elements covering the intersection between the vertical wall and the horizontal Floor.

An inspection of the readily accessible Floors & Skirtings was undertaken. However the consultant did not move or remove any obstructions such as built-in fixtures and fittings, stored goods, wall coverings, wall linings, furniture, wall hangings, floor coverings including carpet and floating timber flooring, floor tiles, clothing and personal effects, appliances, packing boxes, etc.


Note: The early signs of termite activity are often detected by sounding (tapping) skirtings. This sounding is only possible where the skirting is not obstructed and there is enough room for the consultant to undertake the sounding process.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Floors & Skirtings Defect/Observation

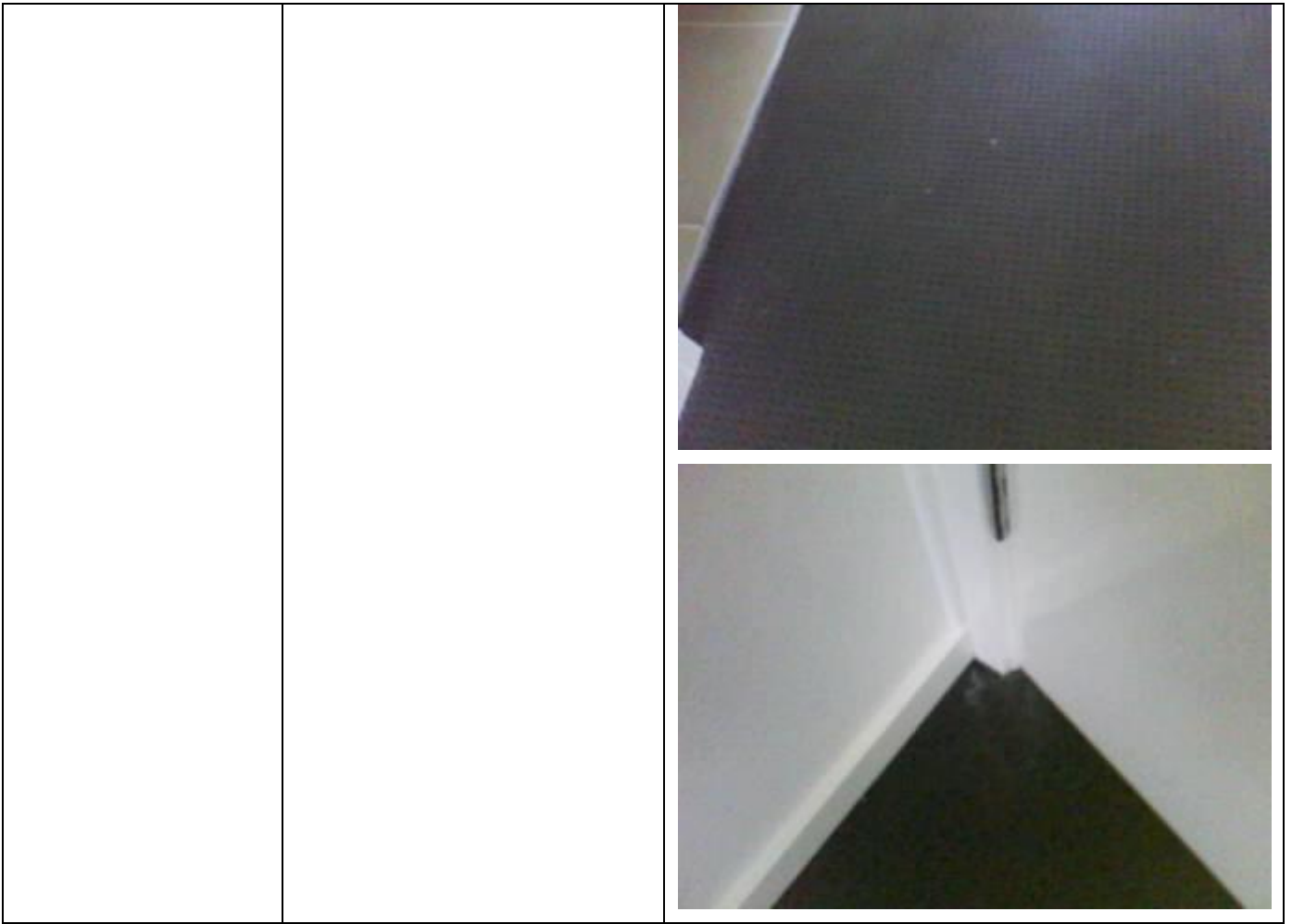
Element	Floor tiles	
Location	Ensuite, adjacent toilet	
Defect/Observation	Gap in sealant	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Floors & Skirtings Defect/Observation


Element	Carpet	
Location	Master Bedroom/ Ensuite First floor North-eastern side of the building	
Defect/Observation	Snag	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	

Floors & Skirtings Defect/Observation


Element	Carpets	
Location	Stairs, Bedrooms, Hallway First floor In general	
Defect/Observation	Paint/plaster stains on carpet	
Extent	Localised	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	 



Floors & Skirtings Defect/Observation

Element	Floor slab	
Location	Garage, Ground floor North-eastern side of the building	
Defect/Observation	<u>Cracked</u> The consultant is of the opinion that the cracking is consistent with shrinkage during the drying process and/or minor settlement.	
Extent	Localised	
Recommendation	The consultant recommends that the client undertakes regular maintenance (applying sealant to keep moisture from entering the crack and corroding the reinforcing steel) and continues to monitor the defect. Repairs may be necessary in the event the defect becomes more significant.	

Floors & Skirtings Defect/Observation

Element	Floor slab	
Location	Garage, Ground floor North-eastern side of the building	
Defect/Observation	<u>Stained</u>	
Extent	Widespread	
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.	


This section covers the exterior of Internal Doors including sliding glass doors if present.

Any doors that are locked or jammed may be concealing defects and/or timber pest activity which may only be revealed when the door can be inspected through its full range of movement. For further advice see Section D – Undetected Defect Assessment.

Internal Doors Defects

No evidence was found.

Internal Door Defect/Observation

Door	Door	
Location	WC, First floor South-eastern side of the building	
Element	Hardware	
Defect/Observation	Not latching	
Extent	Localised	
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.	

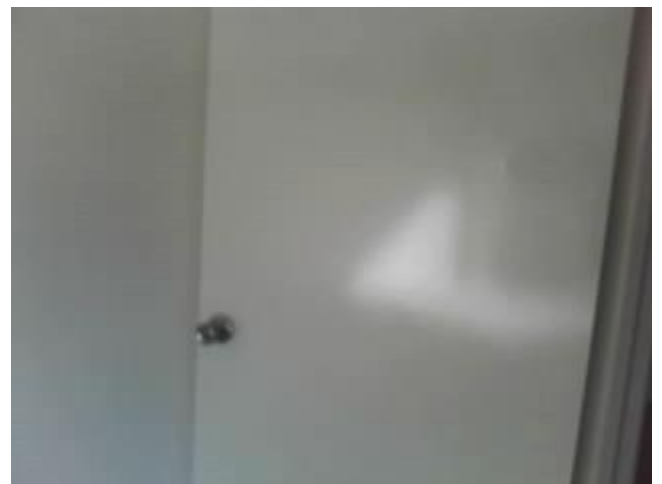
Internal Door Defect/Observation

Door	Cupboard door
Location	Hallway, Entry level In general
Element	Handle
Defect/Observation	Out of plumb
Extent	Localised
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.



Internal Door Defect/Observation

Door	Door
Location	Garage, Entry level North-eastern side of the building
Element	Finish
Defect/Observation	Poorly painted
Extent	Localised
Recommendation	Repainting is required.



Internal Door Defect/Observation

Door	Door
Location	Garage
Element	Latch
Defect/Observation	Back to front
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



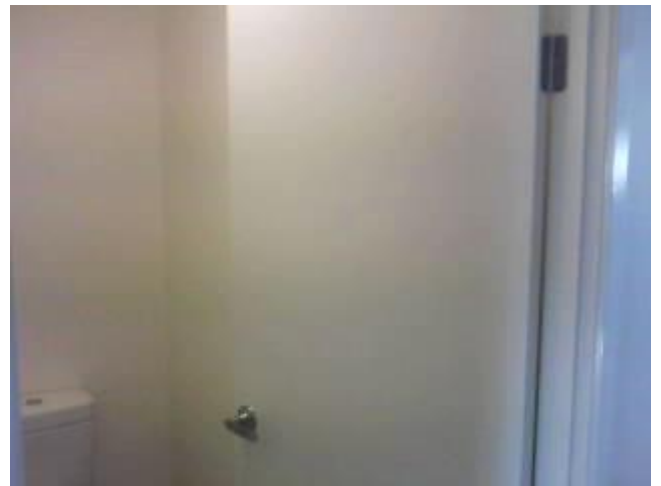
Internal Door Defect/Observation

Door	Sliding door (in cavity)
Location	Bathroom First floor Eastern side of the building
Element	Lock
Defect/Observation	Defective
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



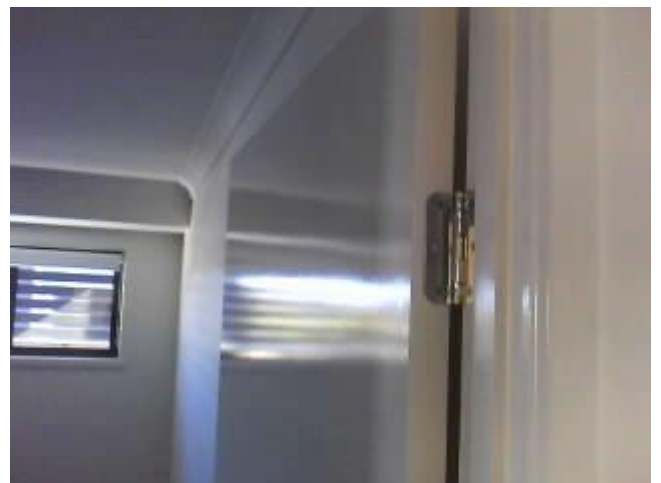
Internal Door Defect/Observation

Door	Door
Location	WC First floor
Element	Hinges Door
Defect/Observation	Do not lift off. Note: Toilet doors should be fitted with lift off hinges and adequate head clearance to allow the door to be removed. Door also binding
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Internal Door Defect/Observation

Door	Door
Location	Middle Bedroom First floor Western side of the building
Element	Hinge
Defect/Observation	Missing screw
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Internal Door Defect/Observation

Door	Sliding door (in cavity)
Location	Media Room, Entry level Northern side of the building
Element	Floor Guide
Defect/Observation	Loose
Extent	Localised
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.



Internal Door Defect/Observation

Door	Door
Location	Bedroom, First floor North-western side of the building
Element	Door stop
Defect/Observation	Broken
Extent	Localised
Recommendation	This defect requires replacement as soon as possible.



The Windows of the building were inspected from the floor level. Tests (probing, sounding etc.) were not carried out on any areas above 3.6 meters.

An inspection of the readily accessible parts of windows from the interior of the building was undertaken together with their frames, sills, architraves and reveals. However the consultant did not move or remove any obstructions such as fixed blinds and curtains, furniture, stored goods, fixed screens and grills, shelving, packing boxes, clothing and personal effects, etc.

Note: The early signs of termite activity are often detected by sounding (tapping) timber elements. This sounding is only possible where the window is not obstructed and there is enough room for the consultant to undertake the sounding process.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Internal Window Defects

No evidence was found.

Built-in Fittings are all built in cupboards, vanities, shelving, etc.

An inspection of the readily accessible Built-in Fittings was undertaken. However the consultant did not move or remove any obstructions such as stored goods, furniture, clothing and personal effects, appliances, packing boxes, etc.

Note: The early signs of termite activity are often detected by sounding (tapping) and probing. This sounding is only possible where the Built-in Fittings are not obstructed and there is enough room for the consultant to undertake the sounding and probing process.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Built-in-Fittings Defects

No evidence was found.

Built-in-Fittings Defect/Observation

Built-In-Fittings	Cupboard
Location	Living Room
Element	Doors
Defect/Observation	Bottom edges not even
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Vanity unit
Location	Ensuite First floor North-eastern side of the building
Element	Bottom Drawer
Defect/Observation	Binding
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Built-in-wardrobe
Location	Bedroom First floor South-western side of the building
Element	Mirror Door
Defect/Observation	Marked
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



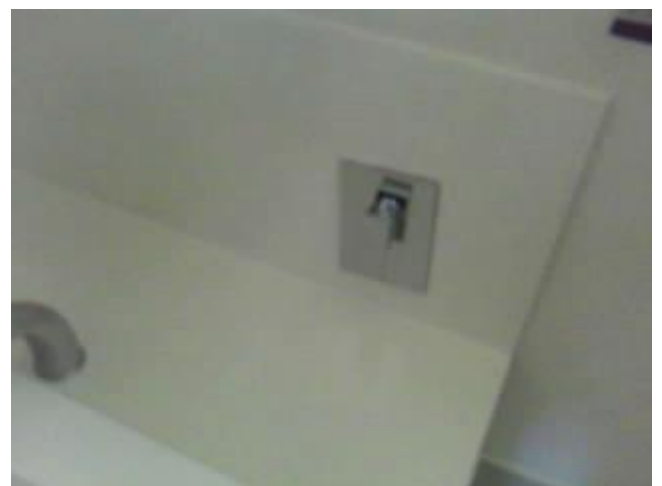
Sanitary Fixture Defect/Observation

Fixture	Basin
Location	Laundry Entry level Northern side of the building
Element	Mixer & sink
Defect/Observation	Loose
Extent	Localised
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.



Sanitary Fixture Defect/Observation

Fixture	Bath
Location	Bathroom & ensuite First floor Southern side of the building
Element	Backing plate
Defect/Observation	Loose
Extent	Localised
Recommendation	Repairs and/or adjustments by a suitably qualified tradesperson are required to correct this defect.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Built-in-fittings
Location	Bathroom, Ensuite, First floor Throughout
Element	Sink Bath
Defect/Observation	Poorly sealed
Extent	Localised
Recommendation	This defect falls within the category of Conditions Conducive to Structural Damage & Timber Pest Activity. It is strongly recommended that this condition be removed by resealing. The above recommendation should be implemented promptly.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Cupboards
Location	Laundry, Ground floor Western side of the building
Element	Doors
Defect/Observation	Missing
Extent	Localised
Recommendation	Replace the missing element as soon as possible.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Cupboards
Location	Kitchen, Ground floor South-eastern side of the building
Element	Join in Worktop
Defect/Observation	Poorly finished
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Built-in-Fittings Defect/Observation

Built-In-Fittings	Overhead Cupboards
Location	Kitchen, Ground floor South-eastern side of the building
Element	Door Hinges
Defect/Observation	Poorly adjusted (1 x door binding on hinge side edge strip of cupboard)
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Other Internal Woodwork is any timber secondary or finishing elements not covered in the sections E6.1 to E6.8 above

An inspection of the readily accessible Internal Woodwork was undertaken. However the consultant did not move or remove any obstructions such as stored goods, furniture, clothing and personal effects, appliances, packing boxes, etc.

Note: The early signs of termite activity are often detected by sounding (tapping) and probing. This sounding is only possible where the Internal Woodwork is not obstructed and there is enough room for the consultant to undertake the sounding and probing process.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.

Woodwork Defects

No evidence was found.

Woodwork Defect/Observation

Woodwork	Handrail
Location	Stairwell
Element	Paintwork
Defect/Observation	Scratch marks
Extent	Localised
Recommendation	This defect should be addressed by a Licensed Tradesperson as soon as possible.



Sanitary Fittings refers to the showers, baths, basins, water closets, bidets, etc. commonly found in toilets, bathrooms and ensuites.

The inspection of sanitary fittings is limited to visual inspection of visible surface condition. The consultant will also check behind tap flanges where possible (only where they can be easily unscrewed or retracted against a spring) and where the shower has a tiled base, test the shower base for leaks by temporarily obstructing the waste and filling the shower base to a depth of up to 10mm. The client should be aware that as the shower test only covers a short period, water leaks may not be revealed until the showers has been used for some period of time and surrounding areas checked for excessive moisture.

An inspection of the readily accessible parts of sanitary fittings was undertaken However the consultant did not move or remove any obstructions such as fixed blinds and curtains, stored goods, fixed screens, bathroom accessories, shelving, etc. Also water proofing under tiling or other wet area floor and wall coverings cannot be inspected.

Such obstructions may be concealing defects and/or timber pest activity which may only be revealed via an invasive inspection. For further advice see Section D – Undetected Defect Assessment.

Sanitary Fixture Defects

No evidence was found.

Subfloor refers to any part of the structure which is below the lowest floor level. In a high set home this is the area under the dwelling. In a slab on ground home it is the concrete slab, its reinforcing steel and other components that form the foundation for the structure.

Subfloor voids under low set homes are not designed for easy access and contain many potential hazards. Anyone considering entering the subfloor of a low set home should only enter when they have assessed it is safe to do so. Safety hazards in subfloors include electrical shock, trip hazards, chemical hazards, dust hazards, impalement hazards, heat stroke, entrapment, etc.

If the Consultant was able to enter the subfloor, the inspection is often limited by, insufficient crawl space, stored goods, building materials, pipework, formwork, etc.

Any slab on ground home has a subfloor that is inaccessible.

Obstructions may be concealing defects and/or timber pest activity which may only be revealed when the obstructions are moved or removed. For further advice see Section D – Undetected Defect Assessment.


Subfloor Structure Description

Area	Subfloor space to the main building
Ground To Floor	Slab on ground
Floor Structure	Concrete slab construction

Subfloor Space Inspection Not Applicable

No Subfloor Space to inspect.

Other Internal Detail Defect/Observation

Element	Paintwork	
Location	Hallway, Entry level In general	
Defect/Observation	Deterioration	
Extent	Localised	
Recommendation	Repainting is required.	

SECTION F – Building Maintenance Responsibilities

To help protect against financial loss, it is strongly recommended that:

- a) Any defects identified in this inspection report be immediately controlled or rectified.
- b) Conditions conducive to structural damage and timber pest activity be immediately removed, rectified or monitored.

In our experience, the importance of removing conditions conducive has not been fully appreciated and as a consequence, structural damage and timber pest activity have resulted in subsequent loss.

It is also recommended that any high risk areas (e.g. where access was not gained or where areas were concealed by obstructions) be further investigated.

Importantly, This report is not a warranty against problems developing with the building in the future. Accordingly, a preventative maintenance program should be implemented for the property which includes systematic inspections, detection and prevention of incipient failure.

In respect of timber pests, to help minimise the risk of any future loss, thorough regular inspections should undertaken at intervals not exceeding 12 months or more frequent inspections where the risk of timber pest attack is high or the building type is susceptible to attack.

Following this inspection, the next inspection to help detect timber pest activity is recommended in **3 Months**

If you require further information on a risk management program, please do not hesitate to contact the ABIS Office on 07 3203 4888.

SECTION H – Definitions & Diagrams to Help You Understand This Report

Building Consultant means a person, business or company who is qualified and experienced to undertake a pre-purchase inspection in accordance with Australian Standard AS 4349.1-2007 'Inspection of Buildings. Part 1: Pre-Purchase Inspections – Residential Buildings'. The consultant must also meet any Government licensing requirement, where applicable.

Building & Site (property reporting) means the inspection of the nominated residence together with relevant features including any car accommodation, detached laundry, ablution facilities and garden sheds, retaining walls more than 700 mm high, paths and driveways, steps, fencing, earth, embankments, surface water drainage and stormwater run-off within 30 m of the building, but within the property boundaries.

Building & Site (timber pest reporting) means the main building (or main buildings in the case of a building complex) and all timber structures (such as outbuildings, landscaping, retaining walls, fences, bridges, trees, tree stumps and timber embedded in soil) and the land within the property boundaries up to a distance of 50 metres from the main building(s).

Chemical Delignification means the breakdown of timber through chemical action.

Client means the person or persons, for whom the Report was carried out or their Principal (i.e. the person or persons for whom the report is being obtained).

Conditions Conducive to Structural Damage means noticeable building deficiencies or environmental factors that may contribute to the occurrence of Structural Damage.

Conditions Conducive to Timber Pest Activity means noticeable building deficiencies or environmental factors that may contribute to the presence of Timber Pests.

Finishing Elements means the fixtures, fittings and finishes applied or affixed to Primary Elements and Secondary Elements such as baths, water closets, vanity basins, kitchen cupboards, door furniture, window hardware, render, floor and wall tiles, trim or paint. The term 'Finishing Elements' does not include furniture or soft floor coverings such as carpet and linoleum.

Incomplete Construction means where the original construction and any alterations or additions to the building are not complete in the work synonymous with construction (but does not include building services).

Instrument Testing (timber pest reporting) means where appropriate the carrying out of Tests using the following techniques and instruments:

- (a) *electronic moisture detecting meter* - an instrument used for assessing the moisture content of building elements;
- (b) *thermal imaging camera* – an instrument used to provide a thermal map of the heat energy radiated from visible surfaces to aid the detection of excessive moisture and termite activity;
- (c) *probing* - a technique where timber and other materials/areas are penetrated with a sharp instrument (e.g. bradawl or pocket knife), but does not include probing of decorative timbers or finishes, or the drilling of timber and trees; and
- (d) *sounding* - a technique where timber is tapped with a solid object.

Major Defect means defect of significant magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further deterioration of the property.

Minor Defect means defect other than a Major Defect.

Primary Elements means those parts of the building providing the basic loadbearing capacity to the Structure, such as foundations, footings, floor framing, loadbearing walls, beams or columns. The term 'Primary Elements' also includes other structural building elements including: those that provide a level of personal protection such as handrails; floor-to-floor access such as stairways; and the structural flooring of the building such as floorboards.

Readily Accessible Areas means areas which can be easily and safely inspected without injury to person or property, are up to 3.6 metres above ground or floor levels, in roof spaces where the minimum area of accessibility is not less than 600 mm high by 600 mm wide and subfloor spaces where the minimum area of accessibility is not less than 400 mm high by 600 mm wide, providing the spaces or areas permit entry. The term 'readily accessible' also includes:

- (a) accessible subfloor areas on a sloping site where the minimum clearance is not less than 150 mm high, provided that the areas is not more than 2 metres from a point with conforming clearance (i.e. 400 mm high by 600 mm wide); and
- (b) areas at the eaves of accessible roof spaces that are within the consultant's unobstructed line of sight and within arm's length from a point with conforming clearance (i.e. 600 mm high by 600 mm wide).

Secondary Elements means those parts of the building not providing loadbearing capacity to the Structure, or those non-essential elements which, in the main, perform a completion role around openings in Primary Elements and the building in general such as non-loadbearing walls, partitions, wall linings, ceilings, chimneys, flashings, windows, glazing or doors.

Serious Safety Hazard means any item that may constitute an immediate or imminent risk to life, health or property. Occupational, health and safety or any other consequence of these hazards has not been assessed.

Structural Damage means a significant impairment to the integrity of the whole or part of the Structure falling into one or more of the following categories:

- (a) Structural Cracking and Movement – major (full depth) cracking forming in Primary Elements resulting from differential movement between or within the elements of construction, such as foundations, footings, floors, walls and roofs.
- (b) Deformation – an abnormal change of shape of Primary Elements resulting from the application of load(s).
- (c) Dampness – the presence of moisture within the building, which is causing consequential damage to Primary Elements.

- (d) Structural Timber Pest Damage – structural failure, i.e. an obvious weak spot, deformation or even collapse of timber Primary Elements resulting from attack by one or more of the following wood destroying agents: chemical delignification; fungal decay; wood borers; and termites.

Structure means the load bearing part of the building, comprising the Primary Elements.

Subterranean Termite Management Proposal means a written proposal in accordance with Australian Standard AS 3660.2 to treat a known subterranean termite infestation and/or manage the risk of concealed subterranean termite access to buildings and structures.

Tests (property reporting) means where appropriate the carrying out of tests using the following procedures and instruments:

- (a) Dampness Tests - additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to damp problems. Instrument testing using electronic moisture detecting meter of those areas and other visible accessible elements of construction showing evidence of dampness was performed.
- (b) Physical Tests - the following physical actions undertaken by the consultant: opening and shutting of doors, windows and draws; operation of taps; water testing of shower recesses; and the tapping of tiles and wall plaster.

Tests (timber pest reporting) means additional attention to the visual examination was given to those accessible areas which the consultant's experience has shown to be particularly susceptible to attack by Timber Pests. Instrument Testing of those areas and other visible accessible timbers/materials/areas showing evidence of attack was performed.

Timber Pest Activity means telltale signs associated with 'active' (live) and/or 'inactive' (absence of live) Timber Pests at the time of inspection. The term "Timber Pest Activity" also includes timber pest damage i.e. noticeable impairments to the integrity of timber and other susceptible materials resulting from attack by Timber Pests.

Timber Pest Detection Consultant means a person who meets the minimum recommended competency standard set out in Australian Standard AS 4349.3 Inspections of Buildings. Part 3: Timber Pest Inspection Reports.

Timber Pests means one or more of the following wood destroying agents which attack timber in service and affect its structural properties:

- (a) Fungal Decay - the microbiological degradation of timber caused by soft rot fungi and decay fungi, but does not include mould, which is a type of fungus that does not structurally damage wood.
- (b) Wood Borers - wood destroying insects belonging to the order 'Coleoptera' which commonly attack seasoned timber.
- (c) Termites - wood destroying insects belonging to the order 'Isoptera' which commonly attack seasoned timber.

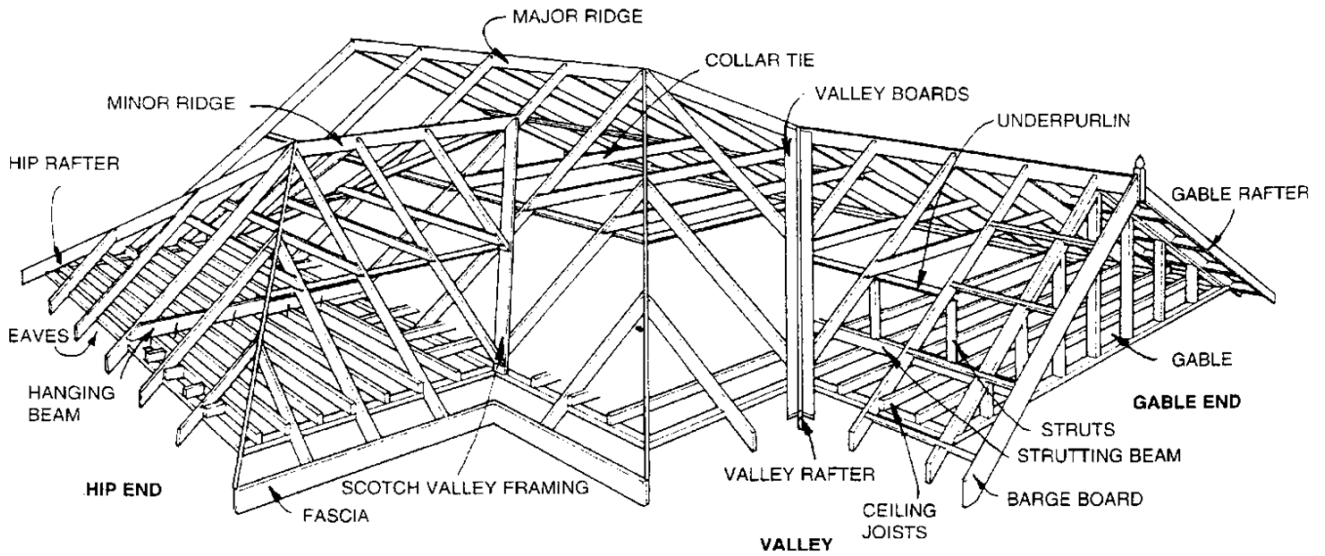


Figure 1 Roof

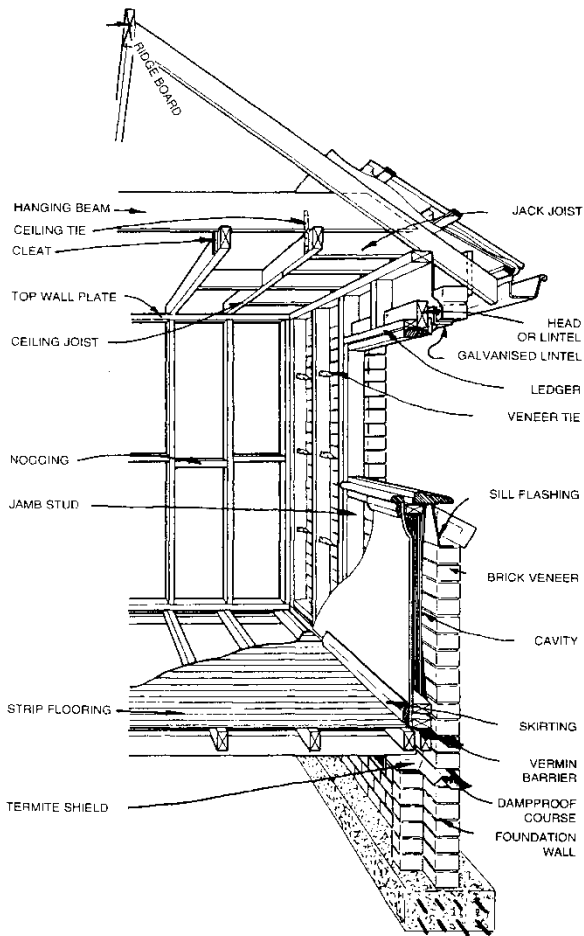


Figure 3 Brick veneer construction

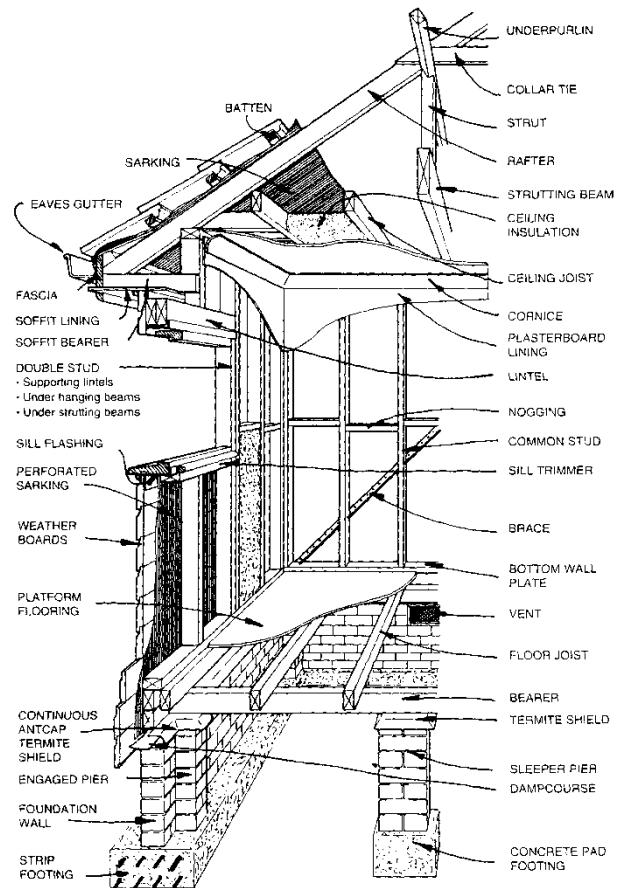


Figure 2 Timber framed construction

SECTION I – Terms On Which This Report Was Prepared

As requested and agreed with the Client, the inspection carried out by a qualified Building Consultant and Timber Pest Detection Consultant (“The Consultant”) is a Handover Report (“The Report”).

The Terms on which this Report was prepared are set out the following sub-sections:

- General Reporting Terms includes the terms that are applicable to the reporting on both property and timber pest matters and issues.
- Property Reporting Terms includes the terms that are specific to the reporting on property matters and issues.
- Timber Pest Reporting Terms includes the terms that are specific to the reporting on timber pest matters and issues.

I1 – General Reporting Terms

This Report is produced for the use of the Client. The Consultant or ABIS is not liable for any reliance placed on this Report by any other third party.

The Report is only a snap shot of the condition of the property at the time of inspection. This Report is not a warranty against problems developing with the property in the future.

Unless noted in “Special Conditions or Instructions”, this Report assumes that the building is to be used for domestic purposes.

This Report only records the observations and conclusions of the Consultant about the readily observable state of the property at the time of inspection. This Report therefore cannot deal with:

- (a) possible concealment of defects, including but not limited to, defects concealed by lack of accessibility, obstructions such as furniture, wall linings and floor coverings, or by applied finishes such as render and paint; and
- (b) undetectable or latent defects, including but not limited to, defects that may not be apparent at the time of inspection due to seasonal changes, recent or prevailing weather conditions, and whether or not services have been used some time prior to the inspection being carried out.

These matters outlined above in (a) & (b) are excluded from consideration in this Report.

The inspection only covered the Readily Accessible Areas of the Building and Site. The inspection did not include areas which were inaccessible, not readily accessible or obstructed at the time of inspection. Obstructions are defined as any condition or physical limitation which inhibits or prevents inspection and may include – but are not limited to – roofing, fixed ceilings, wall linings, floor coverings, fixtures, fittings, stored articles/materials, thermal insulation, sarking, pipe/duct work, builder’s debris, vegetation, pavements or earth.

In the case of strata and company title properties, the inspection was limited to the interior and immediate exterior of the nominated residence and does not include inspection of common property.

If the Client (or any other party that is entitled to rely on and use this Report) has any doubt about the Terms on which this Report was prepared, please discuss your concerns with the ABIS Office on 07 3203 4888 on receipt of the Report.

I2 – Property Reporting Terms

PURPOSE OF INSPECTION The purpose of this inspection carried out by a Building Consultant was to provide advice regarding the condition of the Building & Site at the time of inspection.

SCOPE OF INSPECTION This Report only covered or dealt with any evidence of: Structural Damage; Conditions Conducive to Structural Damage; any Major Defect in the condition of Secondary Elements

and Finishing Elements; collective (but not individual) Minor Defects; and any Serious Safety Hazard noticed by the consultant at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

ACCEPTANCE CRITERIA The building was compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

LIMITATIONS

The Client acknowledges:

1. This Report did not include the inspection and assessment of items or matters outside the scope of the requested inspection and report. Other items or matters may be the subject of a Special-Purpose Inspection Report, which is adequately specified (see Exclusions below).
2. This Report did not include the inspection and assessment of items or matters that do not fall within the Building Consultant's direct expertise.
3. The inspection and report is not a warranty or an insurance policy against problems developing with the building in the future.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

- (i) any individual Minor Defect;
- (ii) any contractual issues including use of specific contracted products (tap fittings, tiles, appliances etc.) by the builder and conformance with contracted design, inclusions and the like.
- (iii) solving or providing costs for any rectification or repair work;
- (iv) the structural design or adequacy of any element of construction;
- (v) the operation of fireplaces and chimneys;
- (vi) any services or plant associated with services including building, engineering (electronic), fire and smoke detection, water, sewerage, electrical or mechanical;
- (vii) lighting or energy efficiency;
- (viii) any swimming pools and associated fencing or pool equipment or spa baths and spa equipment or the like;
- (ix) any appliances such as dishwashers, insinkerators, ovens, stoves and ducted vacuum systems;
- (x) a review of occupational, health or safety issues such as asbestos content, the provision of safety glass or the use of lead based paints;
- (xi) *a review of environmental or health or biological risks such as toxic mould;*
- (xii) whether the building complies with the provisions of any building Act, code, regulation(s) or by-laws;
- (xiii) whether the ground on which the building rests has been filled, is liable to subside, swell or shrink, is subject to landslip or tidal inundation, or if it is flood prone; and
- (xiv) in the case of strata and company title properties, the inspection of common property areas or strata/company records.

Any of the above matters may be the subject of a special-purpose inspection report, which is adequately specified and undertaken by an appropriately qualified consultant.

PURPOSE OF INSPECTION The purpose of this inspection carried out by a Timber Pest Detection Consultant was to assist the Client to identify and understand any Timber Pest issues observed at the time of inspection.

SCOPE OF INSPECTION This Report only dealt with the detection or non detection of Timber Pest Activity and Conditions Conducive to Timber Pest Activity discernable at the time of inspection. The inspection was limited to the Readily Accessible Areas of the Building & Site and was based on a visual examination of surface work (excluding furniture and stored items), and the carrying out of Tests.

ACCEPTANCE CRITERIA Unless noted in “Special Conditions or Instructions”, the building being inspected was compared with a similar building. To the Timber Pest Detection Consultant's knowledge the similar building used for comparison was constructed in accordance with generally accepted timber pest management practices and has since been maintained during all its life not to attract or support timber pest infestation.

LIMITATIONS

The Client acknowledges:

1. This Report does not include the inspection and assessment of matters outside the scope of the requested inspection and report.
2. As a delay may exist between the time of an attack and the appearance of telltale signs associated with the attack, it is possible that Timber Pest Activity including damage exists though not discernible at the time of inspection. No warranty as to the absence of Timber Pest Activity including damage is given.
3. The detection of drywood termites may be extremely difficult due to the small size of the colonies. No warranty of absence of these termites is given.
4. This Report does not cover or deal with environmental risk assessment or biological risks not associated with Timber Pests (e.g. toxic mould) or occupational, health or safety issues. Such advice may be the subject of a Special-Purpose Inspection Report which is adequately specified and must be undertaken by an appropriately qualified consultant.

EXCLUSIONS

The Client acknowledges that this Report does not cover or deal with:

1. This Report does not deal with any timber pest preventative or treatment measures, or provide costs for the control, rectification or prevention of attack by timber pests. However, this additional information or advice may be the subject of a timber pest management proposal from a licensed pest control company which is adequately specified.